

M03

DEVELOPMENT ORDER MINOR CHANGE #3
FOR

****FINAL INSPECTION REQUIRED****
At the completion of the improvements, please
submit a Letter of Substantial Compliance to
schedule a Final Inspection.

WILDBLUE
PHASE 1 RESIDENTIAL

Electronically signed on 1/6/2019 by
Susan Hollingsworth, Sr. Development Review
Representative
Lee County Development Review

PART OF SECTIONS 7,8,17,18,19,20, TOWNSHIP 46 SOUTH, RANGE 26 EAST
FORT MYERS, LEE COUNTY, FLORIDA

PROJECT DATA

SITE ADDRESS 13500 ALICO ROAD FT. MYERS, FLORIDA 33913	PROJECT DATUM STATE PLANE FLORIDA WEST ZONE NAD 1983 (NSRS2007) NORTH AMERICAN VERTICAL DATUM (NAVD) 1988																				
ZONING MPD (RESOLUTION Z-15-021)	RECORD PLAT PLT2017-00019 INSTRUMENT NO.: 2017000216031																				
FLOOD ZONE ACCORDING TO FIRM 12071C0625 EFFECTIVE DATE AUGUST 28, 2008, THE SUBJECT PARCEL IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (PANEL NOT PRINTED)	STRAP NUMBERS 17-46-26-L-1-070F1.0000 17-46-26-L-1-070F1.0010																				
PERMIT REQUIREMENTS																					
AGENCY S. FLORIDA WATER MANAGEMENT DISTRICT LEE COUNTY DEVELOPMENT ORDER FLORIDA DEPARTMENT OF HEALTH FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION F.D.O.T. CONNECTION PERMIT F.D.O.T. DRAINAGE CONNECTION PERMIT F.D.O.T. UTILITY PERMIT ARMY CORPS OF ENGINEERS F.D.E.P. NOTICE OF INTENT	<table><tr><td>STATUS</td><td>NOTES</td></tr><tr><td>APPROVED</td><td>36-05075-P</td></tr><tr><td>APPROVED</td><td>DOS2017-00103</td></tr><tr><td>PENDING</td><td>-</td></tr><tr><td>PENDING</td><td>-</td></tr><tr><td>N/A</td><td>-</td></tr><tr><td>N/A</td><td>-</td></tr><tr><td>N/A</td><td>-</td></tr><tr><td>APPROVED</td><td>SAJ-2003-10995</td></tr><tr><td>PENDING</td><td>-</td></tr></table>	STATUS	NOTES	APPROVED	36-05075-P	APPROVED	DOS2017-00103	PENDING	-	PENDING	-	N/A	-	N/A	-	N/A	-	APPROVED	SAJ-2003-10995	PENDING	-
STATUS	NOTES																				
APPROVED	36-05075-P																				
APPROVED	DOS2017-00103																				
PENDING	-																				
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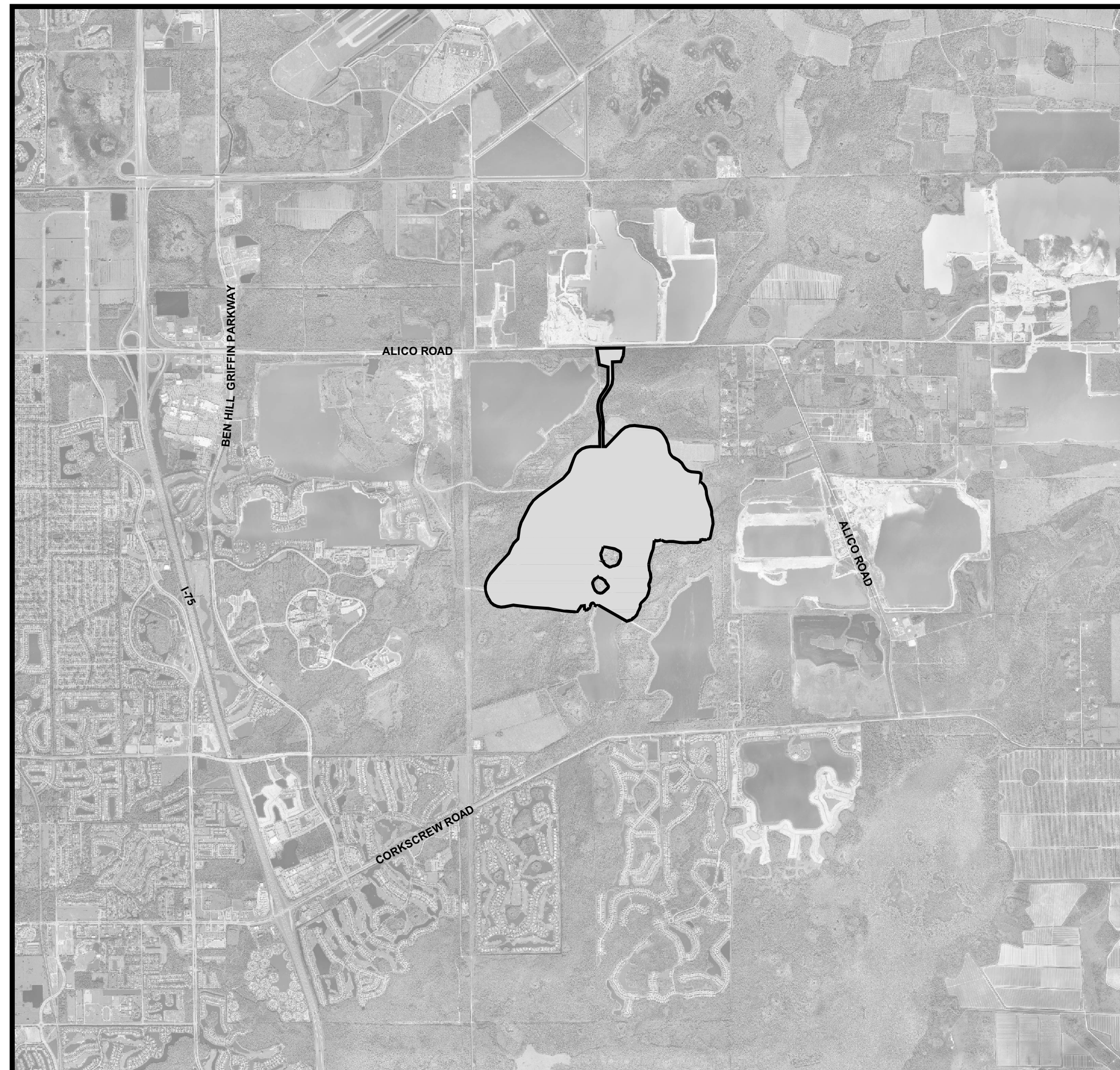
NOTE: CONTRACTOR MUST OBTAIN AND KEEP ON FILE A COPY OF ALL PERMITS
REQUIRED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY

DESIGN TEAM

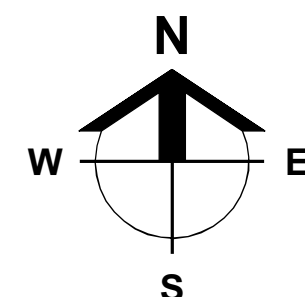
PROJECT ENGINEER TIMOTHY B. GAVIN, P.E.	PROJECT MANAGEMENT CHRIS VAN BUSKIRK
DESIGN ENGINEER TIMOTHY B. GAVIN, P.E.	PROJECT SURVEYOR SCOTT A. WHEELER, PSM
LEAD DESIGN TECHNICIAN GUY W. SAPEN	SITE PLANNING JENNIFER SAPEN, AICP
DESIGN STAFF SCOTT A. WHEELER, JR.	LAND PLANNING JENNIFER SAPEN, AICP
QUALITY CONTROL CHRIS VAN BUSKIRK	RECORD DRAWINGS

THESE PLANS MAY HAVE BEEN MODIFIED IN SIZE BY REPRODUCTION.
THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.

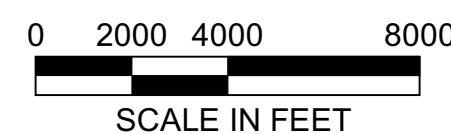
ALL DIMENSIONS ARE IN FEET.



PROJECT
LOCATION



LOCATION MAP



SCALE IN FEET



INDEX OF DRAWINGS

SHEET	DESCRIPTION	XREF	DRAWING NAME
1.0	COVER SHEET AND LOCATION MAP	B	23675A01.DWG
2.0	STANDARD NOTES, LEGEND, AND ABBREVIATIONS	A	23675A02.DWG
3.0	AERIAL PHOTOGRAPH AND EXISTING CONDITIONS PLAN	B,D	23675A06.DWG
4.0	MASTER SITE AND PHASING PLAN	A	23675A10.DWG
4.1	MODEL HOME PARKING PLAN	A	23675A10B.DWG
5.0	MASTER DRAINAGE PLAN	A	23675A11.DWG
6.0	MASTER UTILITY PLAN	A	23675A12.DWG
7.16,7.17	7.0-7.18 DETAILED PAVING, GRADING, AND DRAINAGE PLANS	A	23675A15.DWG
8.0-8.4	TYPICAL SECTIONS	-	23675A18.DWG
9.0	PLAN AND PROFILE KEY SHEET	A	23675A29.DWG
10.0-10.5	PLAN AND PROFILES - WILDBLUE BLVD. ENTRANCE ROAD (STA. 800)	A,C	23675A30A.DWG
11.15	11.0-11.15 PLAN AND PROFILES - WILDBLUE BLVD. (STA. 100-200)	A,C	23675A30B.DWG
12.0,12.6	12.0-12.6 PLAN AND PROFILES - BLUE EYE LOOP (STA. 200)	A,C	23675A30C.DWG
13.0-13.2	13.0-13.2 PLAN AND PROFILES - BLUE BREEZE DR. (STA. 300)	A,C	23675A30D.DWG
14.0	14.0 PLAN AND PROFILES - AMENITY ENTRANCE (700)	A,C	23675A30E.DWG
15.0	15.0 PLAN AND PROFILES - WILDBLUE BLVD. ROUNDABOUT (STA. 400)	A,C	23675A30F.DWG
16.0-16.2	16.0-16.2 PLAN AND PROFILES - LIFT STATIONS (7891, 7892, 7893)	A,C	23675A30G.DWG
17.0-17.1	17.0-17.1 CONTROL STRUCTURE DETAILS	-	23675A42.DWG
18.0-18.2	18.0-18.2 TYPICAL CONSTRUCTION DETAILS	-	23675A44.DWG
19.0	19.0 EROSION CONTROL DETAILS	-	23675A50.DWG
20.0	20.0 STORMWATER POLLUTION PREVENTION PLAN	A	23675A52.DWG
21.0-21.3	21.0-21.3 UTILITY DETAILS	-	23675A70.DWG
22.0-22.3	22.0-22.3 LIFT STATION 7891,7892, & 7893 DETAILS	-	23675A71.DWG
23.0-23.2	23.0-23.2 OFFSITE TURN LANES ALICO RD.	A	23675A90.DWG
24.0	24.0 DEWATERING PLANS	A	23675A93.DWG
26.0-26.10	26.0-26.10 STREET LIGHTING PLANS	A	23675A96.DWG

CROSS-REFERENCED DRAWINGS:

XREF	DESCRIPTION	DRAWING NAME
A	BASE LINWORK PLAN	23675A00.DWG
B	AERIAL PHOTOGRAPH	IMAGE_1.JPG
C	PROFILE BASE PLAN	23675A00P.DWG
D	SURVEY	23372S00.DWG

PLAN STATUS

MINOR CHANGE #3
11-04-2019

Barraco
and Associates, Inc.

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LAND PLANNING

www.barraco.net

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FLORIDA CERTIFICATES OF AUTHORIZATION
ENGINEERING 7995 - SURVEYING LB-6940

PREPARED FOR

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LENNAR HOMES
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FORT MYERS, FLORIDA 33966

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FAX (239) 931-4749

PROJECT DESCRIPTION

WildBlue

LEE COUNTY, FLORIDA

ENGINEER OF RECORD

TIMOTHY B. GAVIN, P.E., FOR THE FIRM
FLORIDA P.E. NO. 70675 - TIMG@BARRACO.NET

Timothy B.
Gavin, P.E.
70675
2019.11.04
10:52:21
-05'00'

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FILE NAME J:\23675\DWG\DWG

LOCATION J:\23675\DWG\DWG

PLOT DATE MON. 11-4-2019 9:11 AM

PLOT BY SCOTT WHEELER JR

CROSS REFERENCED DRAWINGS

MASTER = BA1-COVER-1.DWG

PLAN REVISIONS

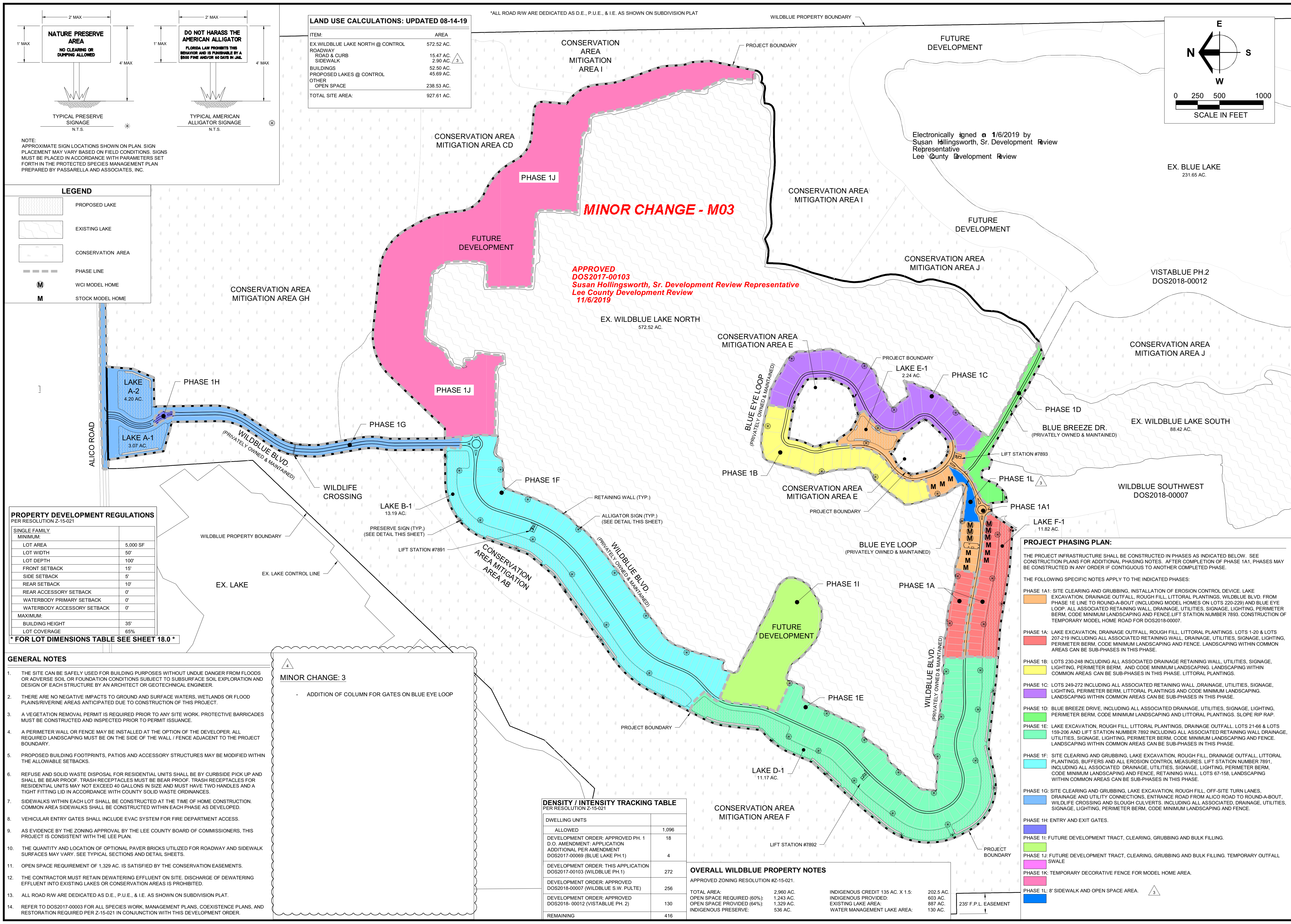
05-22-19	D.O. AMENDMENT #2 CHANGES	1
06-20-19	MINOR CHANGE #1	2
07-19-19	MINOR CHANGE #2	3
11-04-19	MINOR CHNAGE #3	4

PLAN STATUS

MINOR CHANGE #3
11-04-2019

COVER SHEET
AND
LOCATION MAP

PROJECT / FILE NO.	SHEET NUMBER
23675	1.0



LAND USE CALCULATIONS: UPDATED 08-14-19

ITEM:	AREA
EX. WILDBLUE LAKE NORTH @ CONTROL	572.52 AC.
ROADWAY	15.47 AC.
ROAD & CURB	2.90 AC.
SIDEWALK	52.50 AC.
BUILDINGS	45.89 AC.
PROPOSED LAKES @ CONTROL	238.53 AC.
OTHER	
OPEN SPACE	
TOTAL SITE AREA:	927.81 AC.

PROPERTY DEVELOPMENT REGULATIONS
PER RESOLUTION Z-15-021

SINGLE FAMILY	
MINIMUM:	
LOT AREA	5,000 SF
LOT WIDTH	50'
LOT DEPTH	100'
FRONT SETBACK	15'
SIDE SETBACK	5'
REAR SETBACK	10'
REAR ACCESSORY SETBACK	0'
WATERBODY PRIMARY SETBACK	0'
WATERBODY ACCESSORY SETBACK	0'
MAXIMUM:	
BUILDING HEIGHT	35'
LOT COVERAGE	65%

* FOR LOT DIMENSIONS TABLE SEE SHEET 18.0 *

- GENERAL NOTES**
- THE SITE CAN BE SAFELY USED FOR BUILDING PURPOSES WITHOUT UNDUE DANGER FROM FLOODS OR ADVERSE SOIL OR FOUNDATION CONDITIONS SUBJECT TO SUBSURFACE SOIL EXPLORATION AND DESIGN OF EACH STRUCTURE BY AN ARCHITECT OR GEOTECHNICAL ENGINEER.
 - THERE ARE NO NEGATIVE IMPACTS TO GROUND AND SURFACE WATERS, WETLANDS OR FLOOD PLAINS/RIVERINE AREAS ANTICIPATED DUE TO CONSTRUCTION OF THIS PROJECT.
 - A VEGETATION REMOVAL PERMIT IS REQUIRED PRIOR TO ANY SITE WORK. PROTECTIVE BARRICADES MUST BE CONSTRUCTED AND INSPECTED PRIOR TO PERMIT ISSUANCE.
 - A PERIMETER WALL OR FENCE MAY BE INSTALLED AT THE OPTION OF THE DEVELOPER. ALL REQUIRED LANDSCAPING MUST BE ON THE SIDE OF THE WALL / FENCE ADJACENT TO THE PROJECT BOUNDARY.
 - PROPOSED BUILDING FOOTPRINTS, PATIOS AND ACCESSORY STRUCTURES MAY BE MODIFIED WITHIN THE ALLOWABLE SETBACKS.
 - REFUSE AND SOLID WASTE DISPOSAL FOR RESIDENTIAL UNITS SHALL BE BY CURBSIDE PICK UP AND SHALL BE BEAR PROOF. TRASH RECEPTACLES MUST BE BEAR PROOF. TRASH RECEPTACLES FOR RESIDENTIAL UNITS MAY NOT EXCEED 40 GALLONS IN SIZE AND MUST HAVE TWO HANDLES AND A TIGHT FITTING LID IN ACCORDANCE WITH COUNTY SOLID WASTE ORDINANCES.
 - SIDEWALKS WITHIN EACH LOT SHALL BE CONSTRUCTED AT THE TIME OF HOME CONSTRUCTION. COMMON AREA SIDEWALKS SHALL BE CONSTRUCTED WITHIN EACH PHASE AS DEVELOPED.
 - VEHICULAR ENTRY GATES SHALL INCLUDE EVAC SYSTEM FOR FIRE DEPARTMENT ACCESS.
 - AS EVIDENCE BY THE ZONING APPROVAL BY THE LEE COUNTY BOARD OF COMMISSIONERS, THIS PROJECT IS CONSISTENT WITH THE LEE PLAN.
 - THE QUANTITY AND LOCATION OF OPTIONAL PAVER BRICKS UTILIZED FOR ROADWAY AND SIDEWALK SURFACES MAY VARY. SEE TYPICAL SECTIONS AND DETAIL SHEETS.
 - OPEN SPACE REQUIREMENT OF 1,329 AC. IS SATISFIED BY THE CONSERVATION EASEMENTS.
 - THE CONTRACTOR MUST RETAIN DEWATERING EFFLUENT ON SITE. DISCHARGE OF DEWATERING EFFLUENT INTO EXISTING LAKES OR CONSERVATION AREAS IS PROHIBITED.
 - ALL ROAD R/W ARE DEDICATED AS D.E., P.U.E., & I.E. AS SHOWN ON SUBDIVISION PLAT.
 - REFER TO DOS2017-00003 FOR ALL SPECIES WORK, MANAGEMENT PLANS, COEXISTENCE PLANS, AND RESTORATION REQUIRED PER Z-15-021 IN CONJUNCTION WITH THIS DEVELOPMENT ORDER.

MINOR CHANGE: 3

ADDITION OF COLUMN FOR GATES ON BLUE EYE LOOP

DENSITY / INTENSITY TRACKING TABLE
PER RESOLUTION Z-15-021

DWELLING UNITS	
ALLOWED	1,096
DEVELOPMENT ORDER: APPROVED PH. 1 D.O. AMENDMENT: APPLICATION ADDITIONAL PER AMENDMENT DOS2017-00069 (BLUE LAKE PH.1)	4
DEVELOPMENT ORDER: THIS APPLICATION DOS2017-00103 (WILDBLUE PH.1)	272
DEVELOPMENT ORDER: APPROVED DOS2018-00007 (WILDBLUE S.W. P.U.L.E)	256
DEVELOPMENT ORDER: APPROVED DOS2018-00012 (VISTABLUE PH. 2)	130
REMAINING	416

OVERALL WILDBLUE PROPERTY NOTES

APPROVED ZONING RESOLUTION #Z-15-021.

TOTAL AREA:	2,960 AC.	INDIGENOUS CREDIT 135 AC. X 1.5:	202.5 AC.
OPEN SPACE REQUIRED (80%):	1,243 AC.	INDIGENOUS PROVIDED:	897 AC.
OPEN SPACE PROVIDED (64%):	1,329 AC.	EXISTING LAKE AREA:	130 AC.
INDIGENOUS PRESERVE:	536 AC.	WATER MANAGEMENT LAKE AREA:	

- PROJECT PHASING PLAN:**
- THE PROJECT INFRASTRUCTURE SHALL BE CONSTRUCTED IN PHASES AS INDICATED BELOW. SEE CONSTRUCTION PLANS FOR ADDITIONAL PHASING NOTES. AFTER COMPLETION OF PHASE 1A1, PHASES MAY BE CONSTRUCTED IN ANY ORDER IF CONTIGUOUS TO ANOTHER COMPLETED PHASE.
- THE FOLLOWING SPECIFIC NOTES APPLY TO THE INDICATED PHASES:
- PHASE 1A1: SITE CLEARING AND GRUBBING, INSTALLATION OF EROSION CONTROL DEVICE, LAKE EXCAVATION, DRAINAGE OUTFALL, ROUGH FILL, LITTORAL PLANTINGS, WILDBLUE BLVD. FROM PHASE 1E LINE TO ROUND-A-BOUT (INCLUDING MODEL HOMES ON LOTS 220-229) AND BLUE EYE LOOP. ALL ASSOCIATED RETAINING WALL, DRAINAGE, UTILITIES, SIGNAGE, LIGHTING, PERIMETER BERM, CODE MINIMUM LANDSCAPING AND FENCE. LIFT STATION NUMBER 7893. CONSTRUCTION OF TEMPORARY MODEL HOME ROAD FOR DOS2018-00007.
 - PHASE 1A: LAKE EXCAVATION, DRAINAGE OUTFALL, ROUGH FILL, LITTORAL PLANTINGS, LOTS 1-20 & LOTS 207-219 INCLUDING ALL ASSOCIATED RETAINING WALL, DRAINAGE, UTILITIES, SIGNAGE, LIGHTING, PERIMETER BERM, CODE MINIMUM LANDSCAPING AND FENCE. LANDSCAPING WITHIN COMMON AREAS CAN BE SUB-PHASES IN THIS PHASE.
 - PHASE 1B: LOTS 230-248 INCLUDING ALL ASSOCIATED DRAINAGE RETAINING WALL, UTILITIES, SIGNAGE, LIGHTING, PERIMETER BERM, AND CODE MINIMUM LANDSCAPING. LANDSCAPING WITHIN COMMON AREAS CAN BE SUB-PHASES IN THIS PHASE. LITTORAL PLANTINGS.
 - PHASE 1C: LOTS 249-272 INCLUDING ALL ASSOCIATED RETAINING WALL, DRAINAGE, UTILITIES, SIGNAGE, LIGHTING, PERIMETER BERM, LITTORAL PLANTINGS AND CODE MINIMUM LANDSCAPING. LANDSCAPING WITHIN COMMON AREAS CAN BE SUB-PHASES IN THIS PHASE.
 - PHASE 1D: BLUE BREEZE DRIVE, INCLUDING ALL ASSOCIATED DRAINAGE, UTILITIES, SIGNAGE, LIGHTING, PERIMETER BERM, CODE MINIMUM LANDSCAPING AND LITTORAL PLANTINGS. SLOPE RIP RAP.
 - PHASE 1E: LAKE EXCAVATION, ROUGH FILL, LITTORAL PLANTINGS, DRAINAGE OUTFALL, LOTS 21-66 & LOTS 159-206 AND LIFT STATION NUMBER 7892 INCLUDING ALL ASSOCIATED RETAINING WALL, DRAINAGE, UTILITIES, SIGNAGE, LIGHTING, PERIMETER BERM, CODE MINIMUM LANDSCAPING AND FENCE. LANDSCAPING WITHIN COMMON AREAS CAN BE SUB-PHASES IN THIS PHASE.
 - PHASE 1F: SITE CLEARING AND GRUBBING, LAKE EXCAVATION, ROUGH FILL, DRAINAGE OUTFALL, LITTORAL PLANTINGS, BUFFERS AND ALL EROSION CONTROL MEASURES. LIFT STATION NUMBER 7891, INCLUDING ALL ASSOCIATED DRAINAGE, UTILITIES, SIGNAGE, LIGHTING, PERIMETER BERM, CODE MINIMUM LANDSCAPING AND FENCE. RETAINING WALL, LOTS 67-158, LANDSCAPING WITHIN COMMON AREAS CAN BE SUB-PHASES IN THIS PHASE.
 - PHASE 1G: SITE CLEARING AND GRUBBING, LAKE EXCAVATION, ROUGH FILL, OFF-SITE TURN LANES, DRAINAGE AND UTILITY CONNECTIONS, ENTRANCE ROAD FROM ALICO ROAD TO ROUND-A-BOUT, WILDBLUE CROSSING AND SLOUGH CULVERTS, INCLUDING ALL ASSOCIATED DRAINAGE, UTILITIES, SIGNAGE, LIGHTING, PERIMETER BERM, CODE MINIMUM LANDSCAPING AND FENCE.
 - PHASE 1H: ENTRY AND EXIT GATES.
 - PHASE 1I: FUTURE DEVELOPMENT TRACT, CLEARING, GRUBBING AND BULK FILLING.
 - PHASE 1J: FUTURE DEVELOPMENT TRACT, CLEARING, GRUBBING AND BULK FILLING. TEMPORARY OUTFALL SWALE.
 - PHASE 1K: TEMPORARY DECORATIVE FENCE FOR MODEL HOME AREA.
 - PHASE 1L: 8' SIDEWALK AND OPEN SPACE AREA.

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10471 BEN C PRATT / 6 MILE
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PROJECT DESCRIPTION

WildBlue

LEE COUNTY, FLORIDA

ENGINEER OF RECORD

TIMOTHY B. GAVIN, P.E., FOR THE FIRM
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FILE NAME J:\23675\DWG\DWG

LOCATION J:\23675\DWG\DWG

PLOT DATE MON. 11-4-2019 - 9:15 AM

PLOT BY SCOTT WHEELER JR

CROSS REFERENCED DRAWINGS

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SURVEY = 23372S00.DWG

PLAN REVISIONS

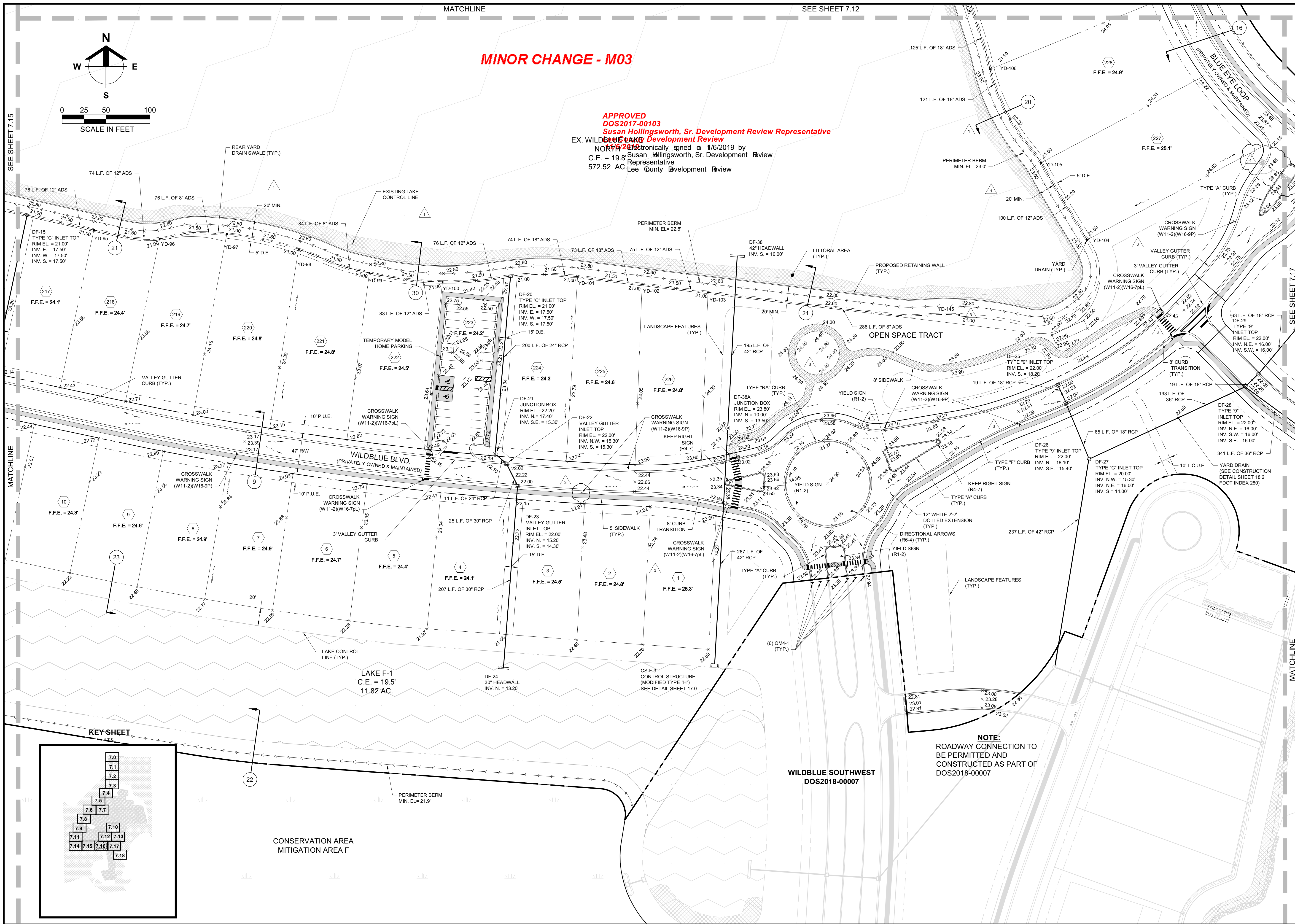
05-22-19	D.O. AMENDMENT #2 CHANGES	▲
06-20-19	MINOR CHANGE	▲
07-19-19	MINOR CHANGE #2	▲
11-04-19	MINOR CHANGE #3	▲

PLAN STATUS

MINOR CHANGE #3
11-04-2019

**MASTER SITE
AND PHASING
PLAN**

PROJECT / FILE NO.	SHEET NUMBER
23675	4.0



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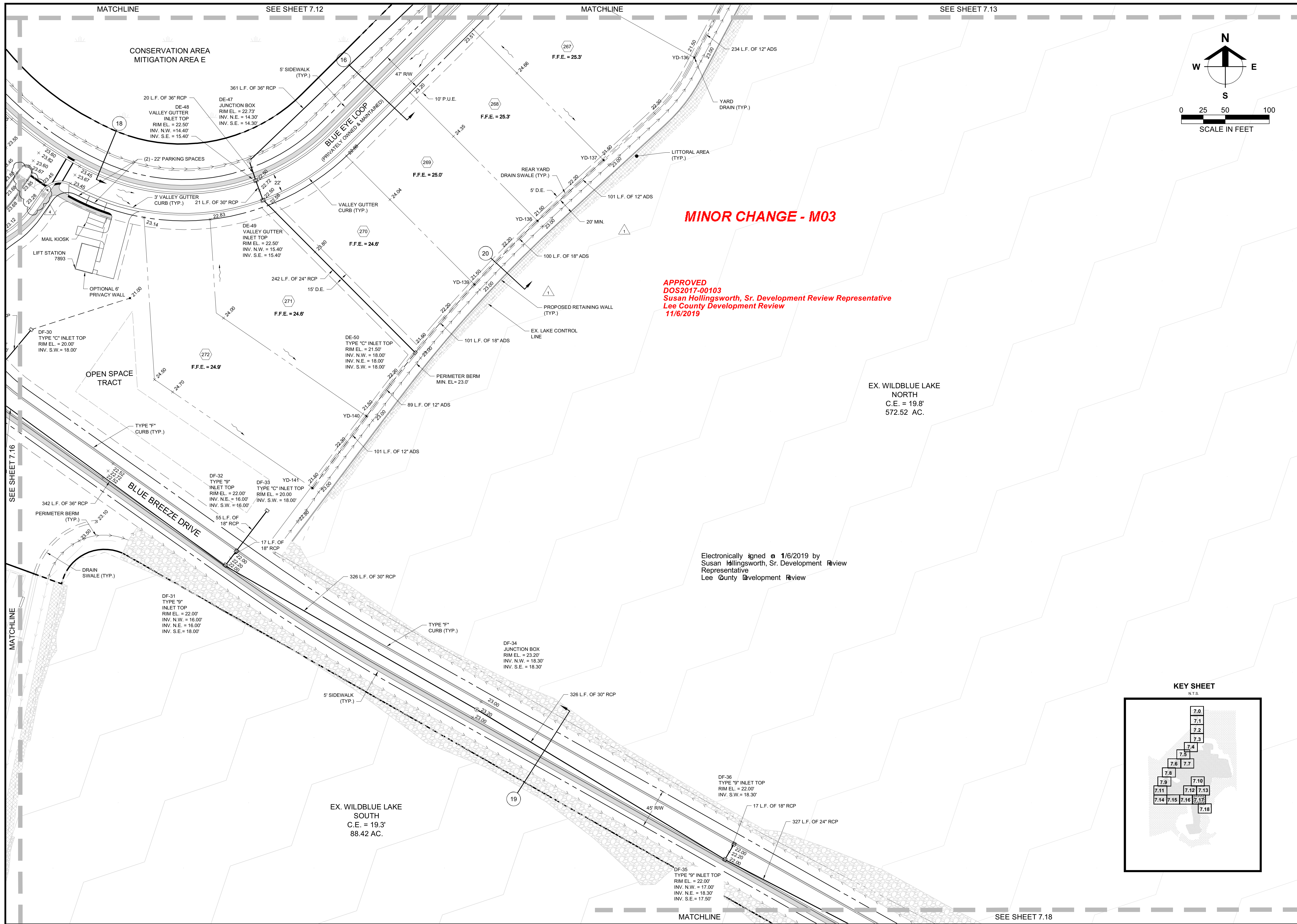
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PLAN REVISIONS
05-22-19 D.O. AMENDMENT #2 CHANGES
07-19-19 MINOR CHANGE #2
11-04-19 MINOR CHANGE #3

PLAN STATUS
MINOR CHANGE #3
11-04-2019

DETAILED PAVING,
GRADING, AND
DRAINAGE PLANS

PROJECT / FILE NO. 23675
SHEET NUMBER 7.16



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PROJECT DESCRIPTION
WildBlue
LEE COUNTY, FLORIDA

ENGINEER OF RECORD
TIMOTHY B. GAVIN, P.E., FOR THE FIRM
FLORIDA P.E. NO. 70675 - TIMG@BARRACO.NET

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PLOT BY = SCOTT WHEELER JR

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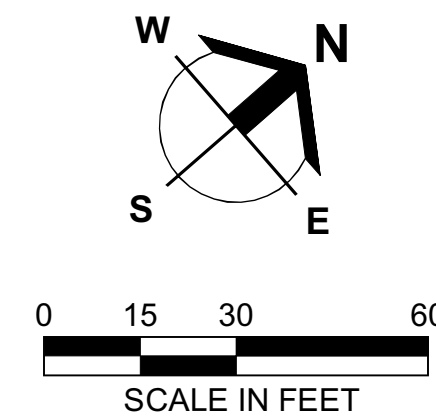
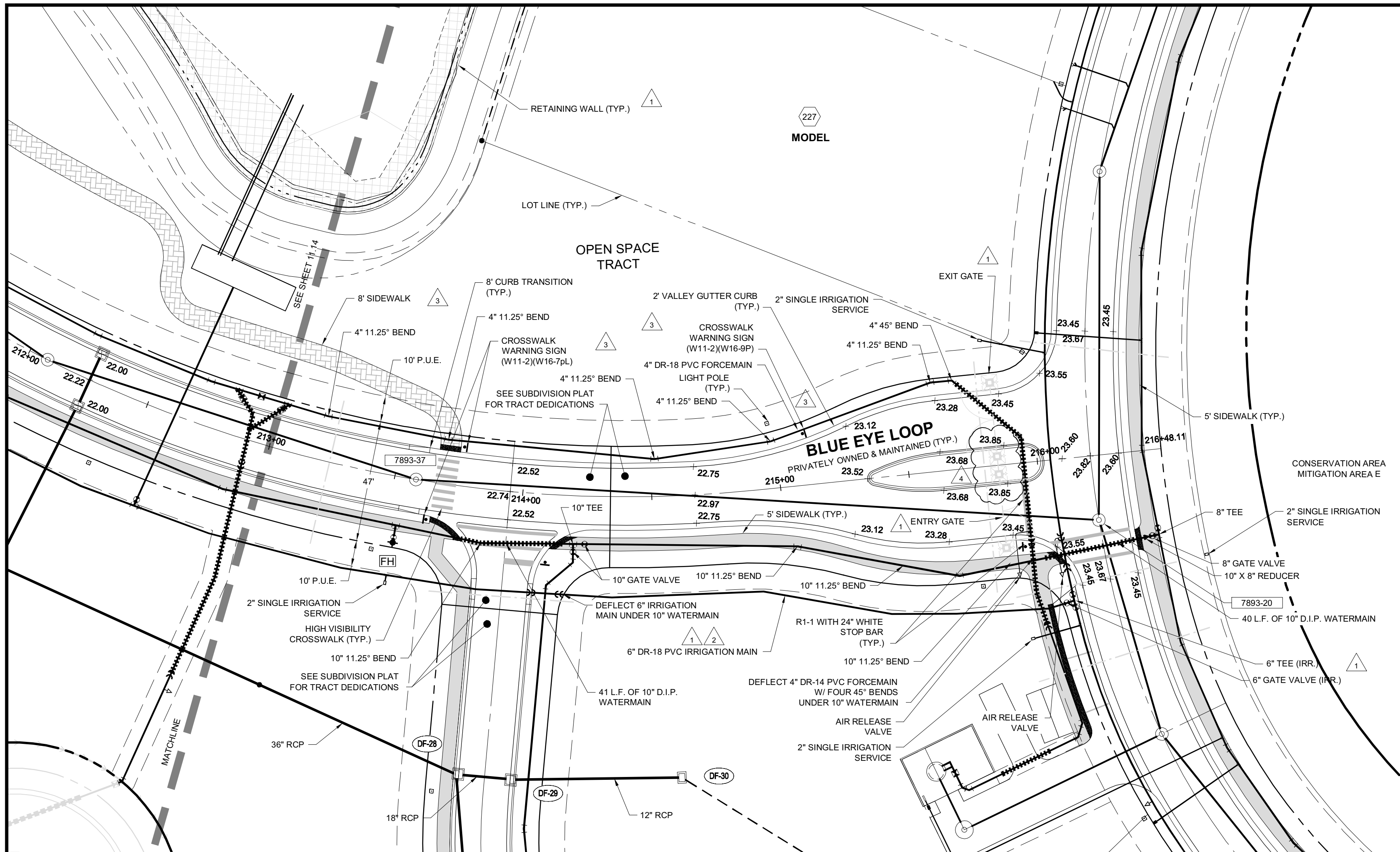
PLAN REVISIONS

NO.	DATE	DESCRIPTION	BY
05-22-19		D.O. AMENDMENT #2 CHANGES	▲
11-04-19		MINOR CHANGE #3	▲

PLAN STATUS
MINOR CHANGE #3
11-04-2019

DETAILED PAVING,
GRADING, AND
DRAINAGE PLANS

PROJECT / FILE NO.	SHEET NUMBER
23675	7.17



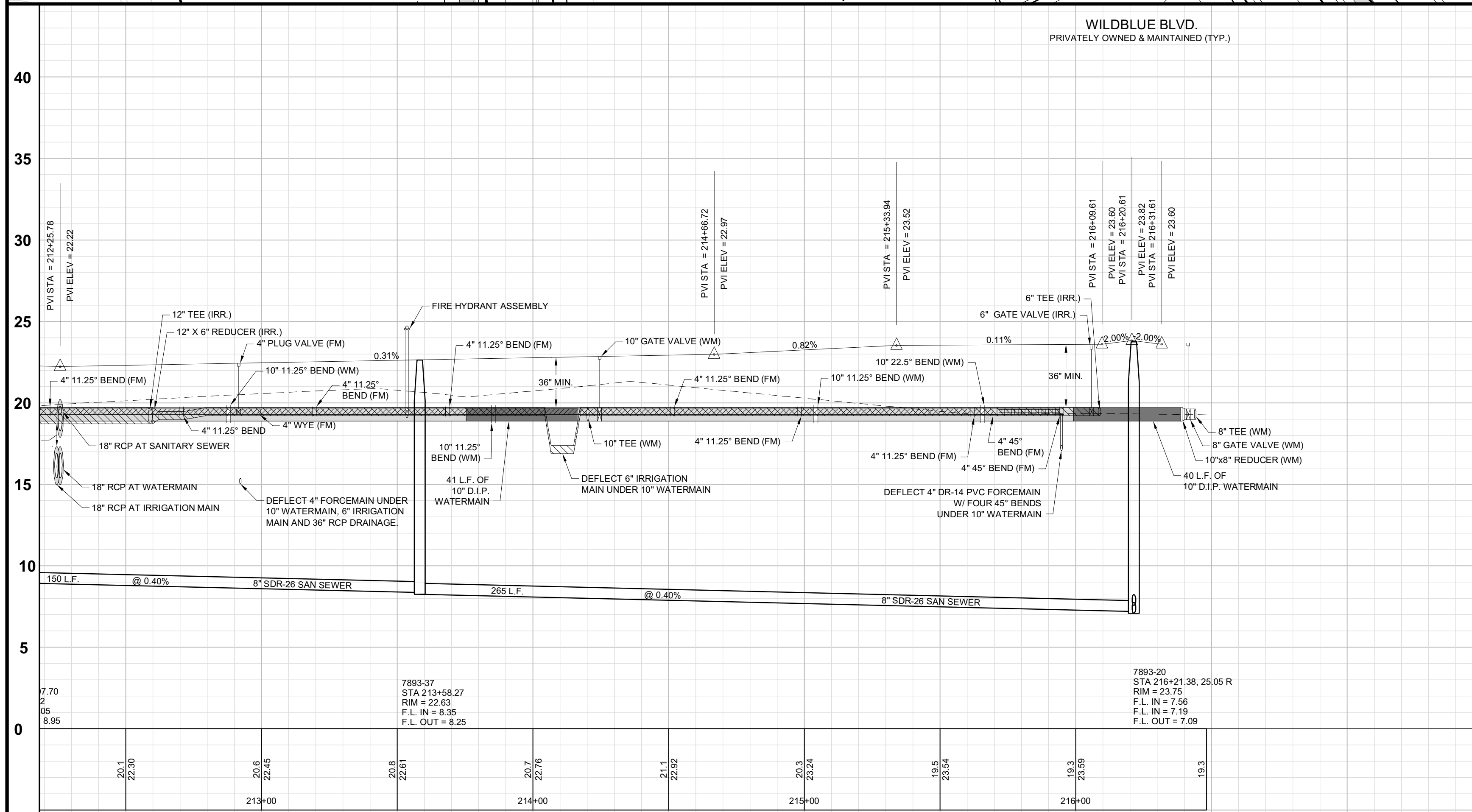
Electronically signed on 11/6/2019 by
Susan Hollingsworth, Sr. Development Review
Representative
Lee County Development Review

MINOR CHANGE - M03

APPROVED
DOS2017-00103
Susan Hollingsworth, Sr. Development Review Representative
Lee County Development Review
11/6/2019

NOTES:

- LIGHT POLE FOUNDATIONS TO BE A MINIMUM OF 5' FROM ANY EXISTING OR PROPOSED LCU OWNED AND MAINTAINED PIPELINE OR FACILITY
- PROPOSED CONDUITS SEE CONDUIT PLANS FOR SIZE, QUANTITY AND DESIGNATION



*ALL ROAD RW ARE DEDICATED AS D.E., P.U.E., & I.E. AS SHOWN ON SUBDIVISION PLAT
NOTE: PROFILE GRADE LINE IS REFERENCED AT CENTERLINE OF ROAD

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FLORIDA CERTIFICATES OF AUTHORIZATION
ENGINEERING 7995 - SURVEYING LB-6940

PREPARED FOR

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PROJECT DESCRIPTION

WildBlue

LEE COUNTY, FLORIDA

ENGINEER OF RECORD

TIMOTHY B. GAVIN, P.E., FOR THE FIRM
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FILE NAME = 23675A30B.DWG

LOCATION = J:\23675\DWG\DO

PLOT DATE = MON. 11-4-2019 - 9:12 AM

PLOT BY = SCOTT WHEELER JR

CROSS REFERENCED DRAWINGS

BASEPLAN = 23675A00.DWG
PROFILE = 23675A00P.DWG
SURVEY = 23372S00.DWG

PLAN REVISIONS

11-12-18	D.O. AMENDMENT #1 CHANGES	▲
02-02-19	L.C.U. COMMENTS DATED 02-01-19	▲
07-19-19	MINOR CHANGE #2	▲
11-04-19	MINOR CHANGE #3	▲

PLAN STATUS

MINOR CHANGE #3
11-04-2019

PLAN AND PROFILE
WILDBLUE BLVD.
STA: 213+00 TO END

PROJECT / FILE NO.	SHEET NUMBER
23675	11.15

