

# DEVELOPMENT ORDER MINOR CHANGE #3 PLANS

## FOR

# WILDBLUE

## PHASE 2 RESIDENTIAL

PART OF SECTIONS 8, TOWNSHIP 46 SOUTH, RANGE 26 EAST  
FORT MYERS, LEE COUNTY, FLORIDA

### PROJECT DATA

<b>SITE ADDRESS</b>	<b>PROJECT DATUM</b>	
13500 ALICO ROAD FT. MYERS, FLORIDA 33913	STATE PLANE FLORIDA WEST ZONE NAD 1983 (NSRS2007) NORTH AMERICAN VERTICAL DATUM (NAVD) 1988	
<b>ZONING</b>	<b>RECORD PLAT</b>	
MPD (RESOLUTION Z-15-021)	PLT2017-00019 INSTRUMENT NO.: 2017000216031	
<b>FLOOD ZONE</b>	<b>STRAP NUMBERS</b>	
ACCORDING TO FIRM 12071C0625 EFFECTIVE DATE AUGUST 28, 2008, THE SUBJECT PARCEL IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (PANEL NOT PRINTED)	08-46-26-L3-090F1.0000 08-46-26-L1-090F1.0010 08-46-26-L2-090F1.0020 08-46-26-L2-090F1.0030	
<b>PERMIT REQUIREMENTS</b>		
<b>AGENCY</b>	<b>STATUS</b>	<b>NOTES</b>
S. FLORIDA WATER MANAGEMENT DISTRICT	APPROVED	36-102206-P
LEE COUNTY DEVELOPMENT ORDER	APPROVED	DOS2019-00120
FLORIDA DEPARTMENT OF HEALTH	APPROVED	0217283-234DSGP
FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION	APPROVED	38436-447-DWC/CM
F.D.O.T. CONNECTION PERMIT	N/A	-
F.D.O.T. DRAINAGE CONNECTION PERMIT	N/A	-
F.D.O.T. UTILITY PERMIT	N/A	-
ARMY CORPS OF ENGINEERS	APPROVED	SAJ-2003-10995
F.D.E.P. NOTICE OF INTENT	PENDING	FLR20CE79

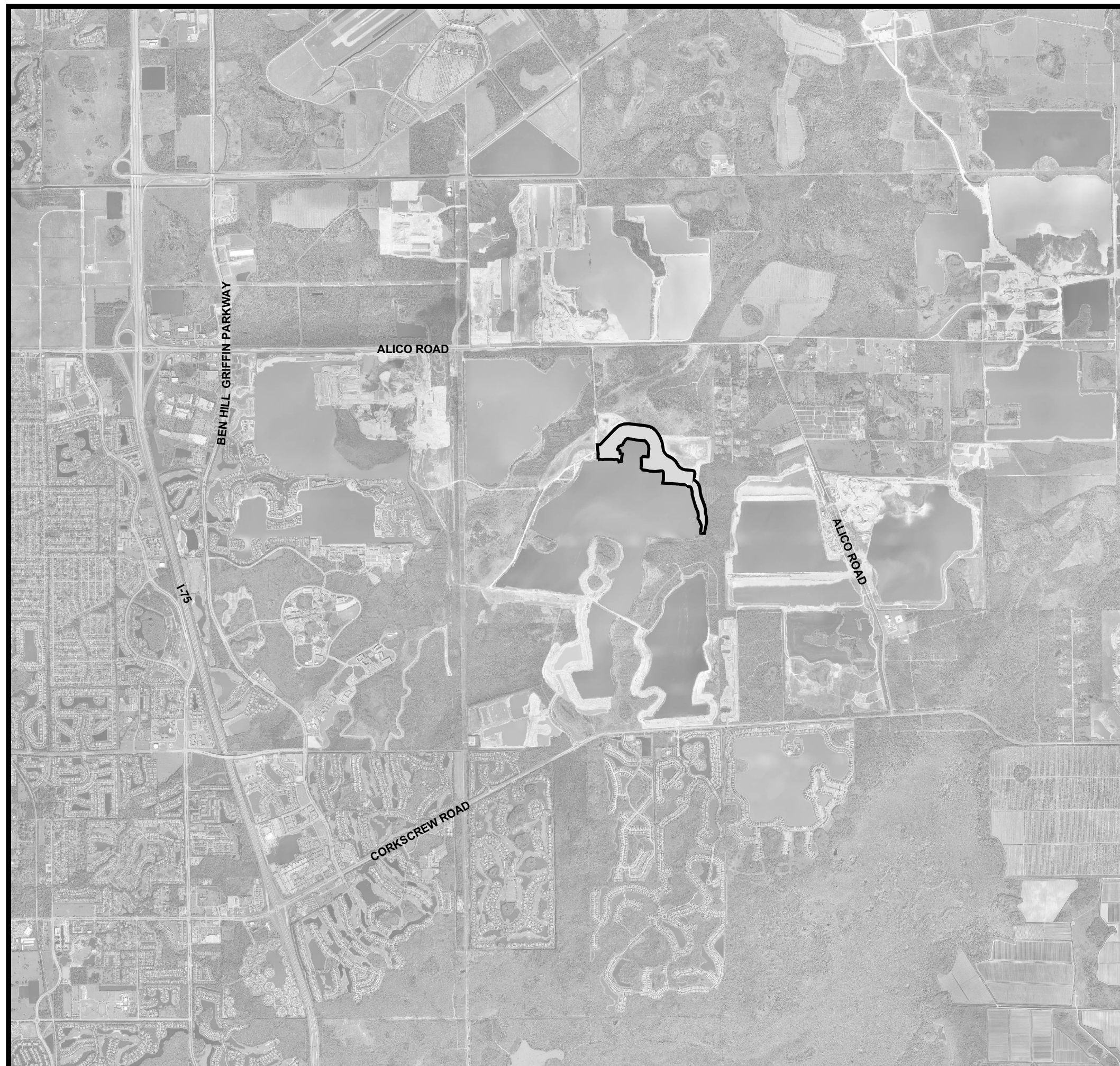
NOTE: CONTRACTOR MUST OBTAIN AND KEEP ON FILE A COPY OF ALL PERMITS  
REQUIRED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY

### DESIGN TEAM

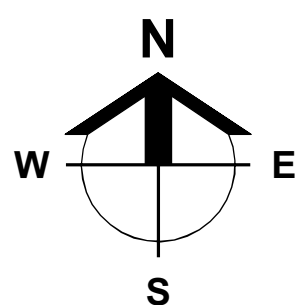
<b>PROJECT ENGINEER</b>	<b>PROJECT MANAGEMENT</b>
TIMOTHY B. GAVIN, P.E.	CHRIS VAN BUSKIRK
<b>DESIGN ENGINEER</b>	<b>PROJECT SURVEYOR</b>
TIMOTHY B. GAVIN, P.E.	SCOTT A. WHEELER, PSM
<b>LEAD DESIGN TECHNICIAN</b>	<b>SITE PLANNING</b>
GUY W. SAPEN	JENNIFER SAPEN, AICP
<b>DESIGN STAFF</b>	<b>LAND PLANNING</b>
SCOTT A. WHEELER, JR.	JENNIFER SAPEN, AICP
<b>QUALITY CONTROL</b>	<b>RECORD DRAWINGS</b>
CHRIS VAN BUSKIRK	-

THESE PLANS MAY HAVE BEEN MODIFIED IN SIZE BY REPRODUCTION.  
THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.

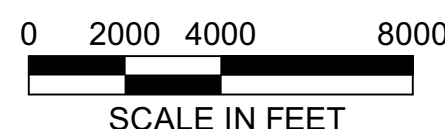
ALL DIMENSIONS ARE IN FEET.



PROJECT  
LOCATION



LOCATION MAP



SCALE IN FEET



### INDEX OF DRAWINGS

ENGINEER OF RECORDS SIGNATURE AND SEAL APPLY TO THE FOLLOWING PLAN SHEETS, EXCLUDING ANY SUPPLEMENTS:

SHEET	DESCRIPTION	XREF	DRAWING NAME
1.0	COVER SHEET AND LOCATION MAP	B	23795A01.DWG
2.0	STANDARD NOTES, LEGEND, AND ABBREVIATIONS	A	23795A02.DWG
3.0	AERIAL PHOTOGRAPH AND EXISTING CONDITIONS PLAN	B,D	23795A06.DWG
4.0	MASTER SITE AND PHASING PLAN	A	23795A10.DWG
5.0	MASTER DRAINAGE PLAN	A	23795A11.DWG
6.0	MASTER UTILITY PLAN	A	23795A12.DWG
7.0-7.17	DETAILED PAVING, GRADING, AND DRAINAGE PLANS	A	23795A15.DWG
8.0-8.2	TYPICAL SECTIONS	-	23795A18.DWG
9.0	PLAN AND PROFILE KEY SHEET	A	23795A29.DWG
10.0-10.9	PLAN AND PROFILES - BLUE SAPPHIRE DR. (STA. 100)	A,C	23795A30A.DWG
11.0	PLAN AND PROFILES - LAPIS CT. (STA. 200)	A,C	23795A30B.DWG
12.0-12.4	PLAN AND PROFILES - CERULEAN CT. (STA. 300)	A,C	23795A30C.DWG
13.0	PLAN AND PROFILES - LIFT STATION - 7897 (STA. 400)	A,C	23795A30D.DWG
14.0	PLAN AND PROFILES - WATERMAIN LOOP (STA. 600)	A,C	23795A30E.DWG
15.0-15.1	PLAN AND PROFILES - WATERMAIN DIRECTIONAL BORE (STA. 600)	A,C	23795A30F.DWG
16.0	CONTROL STRUCTURE DETAILS	-	23795A42.DWG
17.0-17.2	TYPICAL CONSTRUCTION DETAILS	-	23795A44.DWG
18.0	EROSION CONTROL DETAILS	-	23795A50.DWG
19.0	STORMWATER POLLUTION PREVENTION PLAN	A	23795A52.DWG
20.0-20.3	UTILITY DETAILS	-	23795A70.DWG
21.0	LIFT STATION 7897 DETAILS	-	23795A71.DWG
22.0	DEWATERING PLANS	A	23795A93.DWG
24.0-24.4	STREET LIGHTING PLANS	A	23795A96.DWG

SUPPLEMENTS:

SHEET	DESCRIPTION
LCU 25.0-25.9	STANDARD 240V 3PH PUMP STATION (PREPARED BY LEE COUNTY UTILITIES)

CROSS-REFERENCED DRAWINGS:

XREF	DESCRIPTION	DRAWING NAME
A	BASE LINEWORK PLAN	23795A00.DWG
B	AERIAL PHOTOGRAPH	IMAGE_1.JPG
C	PROFILE BASE PLAN	23795A00.DWG
D	SURVEY	2372S00.DWG

Minor Change #3

APPROVED  
DOS2019-00120  
Tom Sawtell, Plan Reviewer  
Lee County Development Services  
4/6/2021

PLAN STATUS

MINOR CHANGE #3  
03-11-2021

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and Associates, Inc.  
CIVIL ENGINEERING - LAND SURVEYING  
LAND PLANNING  
[www.barraco.net](http://www.barraco.net)  
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FORT MYERS, FLORIDA 33902-2800  
PHONE (239) 461-3170  
FAX (239) 461-3169  
FLORIDA CERTIFICATES OF AUTHORIZATION  
ENGINEERING 7995 - SURVEYING LB-6940

PREPARED FOR

**LENNAR**  
LENNAR HOMES  
10471 BEN C PRATT / 6 MILE  
CYPRESS PARKWAY  
FORT MYERS, FLORIDA 33966  
PHONE (239) 278-1177  
FAX (239) 931-4749

PROJECT DESCRIPTION

**WildBlue**  
LEE COUNTY, FLORIDA

ENGINEER OF RECORD  
TIMOTHY B. GAVIN, P.E., FOR THE FIRM  
FLORIDA P.E. NO. 70675 - TIMG@BARRACO.NET  
Digitally signed  
by Timothy B.  
Gavin, P.E. 70675  
Date: 2021.03.11  
15:34:23 -05'00'  
This item has been electronically signed and sealed by  
Timothy B. Gavin on the date adjacent to the seal using a SRA  
authentication code.  
Printed copies of this document are not considered signed  
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FILE NAME 23795A01.DWG  
LOCATION J:\23795\DWG\DO  
PLOT DATE THU 3-11-2021 - 3:28 PM  
PLOT BY SCOTT WHEELER JR

CROSS REFERENCED DRAWINGS  
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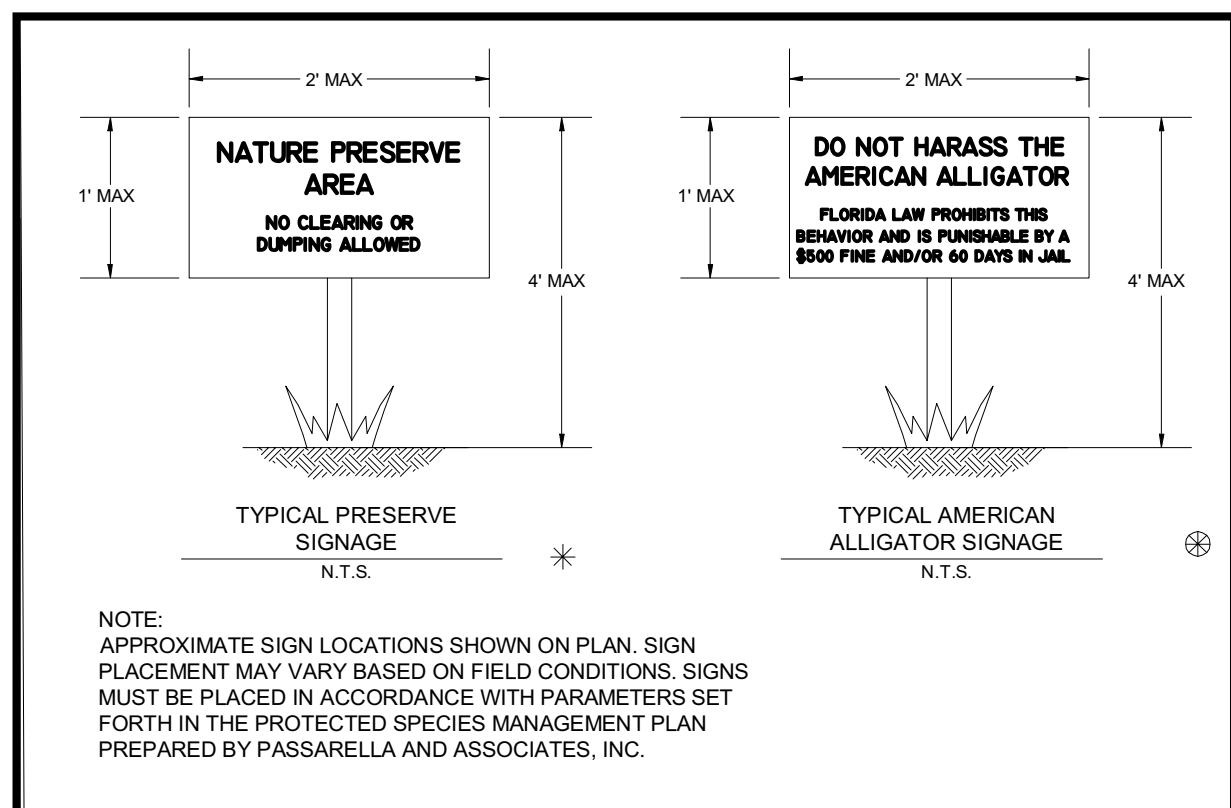
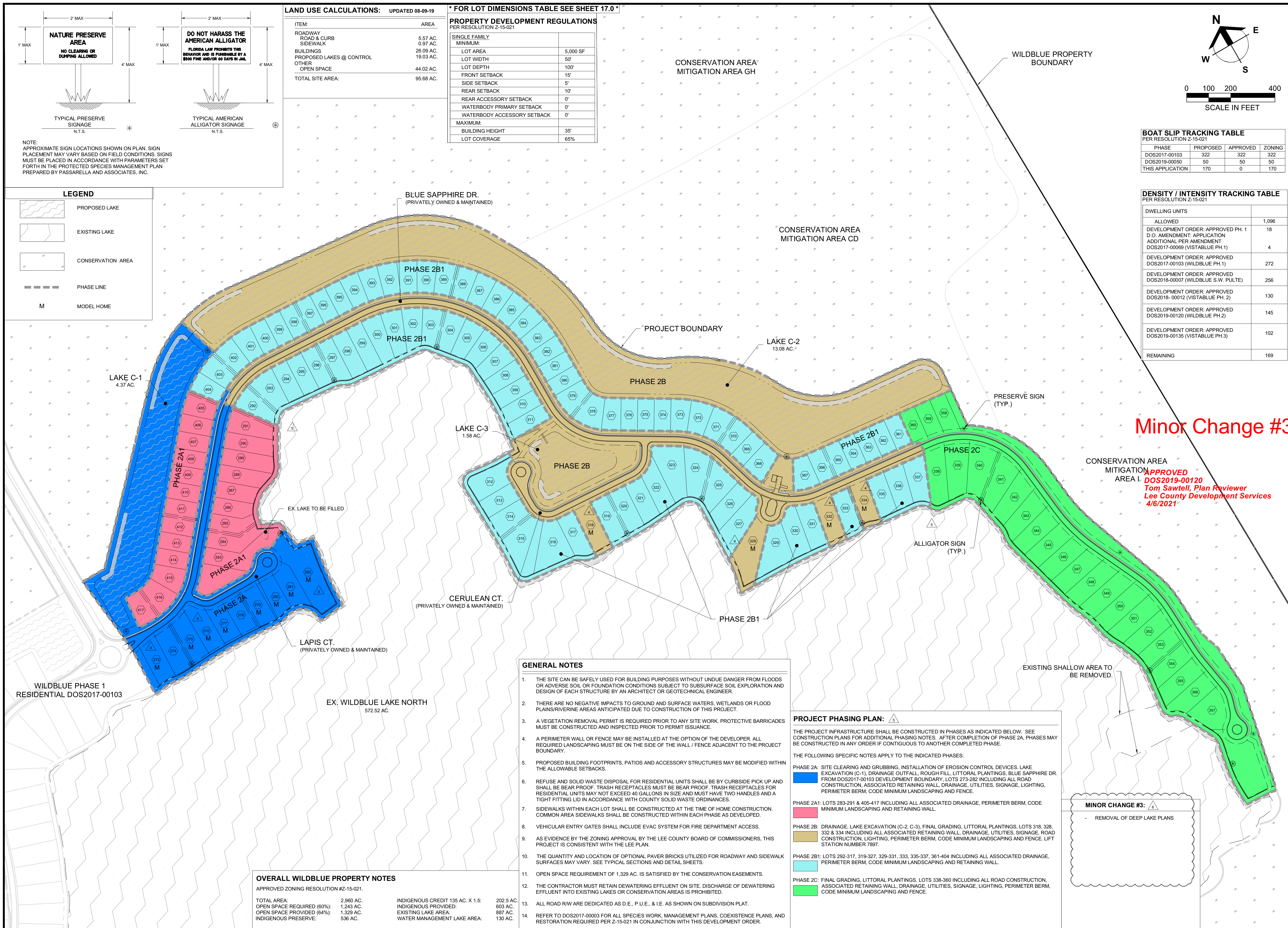
PLAN REVISIONS  
09-16-2019 L.C.U. COMMENTS DATED 09-10-19  
10-14-2019 DO COMMENTS DATED 10-14-19  
03-03-2020 L.C.U. COMMENTS DATED 02-28-20  
05-21-2020 MINOR CHANGE #1  
07-20-2020 MINOR CHANGE #2  
03-11-2021 MINOR CHANGE #3

PLAN STATUS  
MINOR CHANGE #3  
03-11-2021

COVER SHEET  
AND  
LOCATION MAP

PROJECT / FILE NO. 23795  
SHEET NUMBER 1.0





LAND USE CALCULATIONS: UPDATED 08-09-19

ITEM:	AREA
ROADWAY	5.57 AC.
ROAD & CURB	0.97 AC.
SIDEWALK	26.09 AC.
BUILDINGS	19.03 AC.
PROPOSED LAKES @ CONTROL	44.02 AC.
OTHER	95.68 AC.
TOTAL SITE AREA:	95.68 AC.

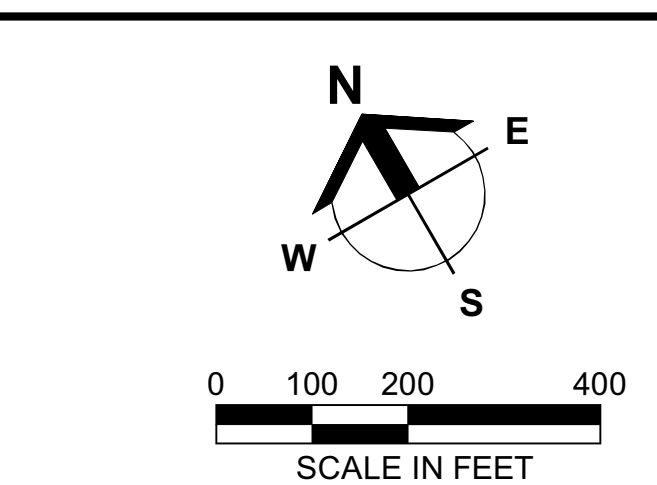
FOR LOT DIMENSIONS TABLE SEE SHEET 17.0

PER RESOLUTION Z-15-021

SINGLE FAMILY MINIMUM:	
LOT AREA	5,000 SF
LOT WIDTH	50'
LOT DEPTH	100'
FRONT SETBACK	15'
SIDE SETBACK	5'
REAR SETBACK	10'
REAR ACCESSORY SETBACK	0'
WATERBODY PRIMARY SETBACK	0'
WATERBODY ACCESSORY SETBACK	0'
MAXIMUM:	
BUILDING HEIGHT	35'
LOT COVERAGE	65%

LEGEND

	PROPOSED LAKE
	EXISTING LAKE
	CONSERVATION AREA
	PHASE LINE
	MODEL HOME



BOAT SLIP TRACKING TABLE

PER RESOLUTION Z-15-021

PHASE	PROPOSED	APPROVED	ZONING
DOS2017-00103	322	322	322
DOS2019-00050	50	50	50
THIS APPLICATION	170	0	170

DENSITY / INTENSITY TRACKING TABLE

PER RESOLUTION Z-15-021

DWELLING UNITS	
ALLOWED	1,096
DEVELOPMENT ORDER: APPROVED PH. 1 D.O. AMENDMENT: APPLICATION ADDITIONAL PER AMENDMENT DOS2017-00069 (VISTABUE PH.1)	18
DEVELOPMENT ORDER: APPROVED DOS2017-00103 (WILDBLUE PH.1)	4
DEVELOPMENT ORDER: APPROVED DOS2018-00007 (WILDBLUE S.W. PULTE)	272
DEVELOPMENT ORDER: APPROVED DOS2018-00012 (VISTABUE PH. 2)	256
DEVELOPMENT ORDER: APPROVED DOS2019-00120 (WILDBLUE PH.2)	130
DEVELOPMENT ORDER: APPROVED DOS2019-00135 (VISTABUE PH.3)	145
REMAINING	102
	169

Minor Change #3

CONSERVATION AREA MITIGATION AREA I  
**APPROVED**  
**DOS2019-00120**  
**Tom Sawtell, Plan Reviewer**  
**Lee County Development Services**  
**4/6/2021**

- GENERAL NOTES
- THE SITE CAN BE SAFELY USED FOR BUILDING PURPOSES WITHOUT UNDUE DANGER FROM FLOODS OR ADVERSE SOIL OR FOUNDATION CONDITIONS SUBJECT TO SUBSURFACE SOIL EXPLORATION AND DESIGN OF EACH STRUCTURE BY AN ARCHITECT OR GEOTECHNICAL ENGINEER.
  - THERE ARE NO NEGATIVE IMPACTS TO GROUND AND SURFACE WATERS, WETLANDS OR FLOOD PLAINS/RIVERINE AREAS ANTICIPATED DUE TO CONSTRUCTION OF THIS PROJECT.
  - A VEGETATION REMOVAL PERMIT IS REQUIRED PRIOR TO ANY SITE WORK. PROTECTIVE BARRICADES MUST BE CONSTRUCTED AND INSPECTED PRIOR TO PERMIT ISSUANCE.
  - A PERIMETER WALL OR FENCE MAY BE INSTALLED AT THE OPTION OF THE DEVELOPER. ALL REQUIRED LANDSCAPING MUST BE ON THE SIDE OF THE WALL / FENCE ADJACENT TO THE PROJECT BOUNDARY.
  - PROPOSED BUILDING FOOTPRINTS, PATIOS AND ACCESSORY STRUCTURES MAY BE MODIFIED WITHIN THE ALLOWABLE SETBACKS.
  - REFUSE AND SOLID WASTE DISPOSAL FOR RESIDENTIAL UNITS SHALL BE BY CURBSIDE PICK UP AND SHALL BE BEAR PROOF. TRASH RECEPTACLES MUST BE BEAR PROOF. TRASH RECEPTACLES FOR RESIDENTIAL UNITS MAY NOT EXCEED 40 GALLONS IN SIZE AND MUST HAVE TWO HANDLES AND A TIGHT FITTING LID IN ACCORDANCE WITH COUNTY SOLID WASTE ORDINANCES.
  - SIDEWALKS WITHIN EACH LOT SHALL BE CONSTRUCTED AT THE TIME OF HOME CONSTRUCTION. COMMON AREA SIDEWALKS SHALL BE CONSTRUCTED WITHIN EACH PHASE AS DEVELOPED.
  - VEHICULAR ENTRY GATES SHALL INCLUDE EVAC SYSTEM FOR FIRE DEPARTMENT ACCESS.
  - AS EVIDENCE BY THE ZONING APPROVAL BY THE LEE COUNTY BOARD OF COMMISSIONERS, THIS PROJECT IS CONSISTENT WITH THE LEE PLAN.
  - THE QUANTITY AND LOCATION OF OPTIONAL PAVER BRICKS UTILIZED FOR ROADWAY AND SIDEWALK SURFACES MAY VARY. SEE TYPICAL SECTIONS AND DETAIL SHEETS.
  - OPEN SPACE REQUIREMENT OF 1,329 AC. IS SATISFIED BY THE CONSERVATION EASEMENTS.
  - THE CONTRACTOR MUST RETAIN DEWATERING EFFLUENT ON SITE. DISCHARGE OF DEWATERING EFFLUENT INTO EXISTING LAKES OR CONSERVATION AREAS IS PROHIBITED.
  - ALL ROAD R/W ARE DEDICATED AS D.E., P.U.E., & I.E. AS SHOWN ON SUBDIVISION PLAT.
  - REFER TO DOS2017-00003 FOR ALL SPECIES WORK, MANAGEMENT PLANS, COEXISTENCE PLANS, AND RESTORATION REQUIRED PER Z-15-021 IN CONJUNCTION WITH THIS DEVELOPMENT ORDER.

- PROJECT PHASING PLAN:
- THE PROJECT INFRASTRUCTURE SHALL BE CONSTRUCTED IN PHASES AS INDICATED BELOW. SEE CONSTRUCTION PLANS FOR ADDITIONAL PHASING NOTES. AFTER COMPLETION OF PHASE 2A, PHASES MAY BE CONSTRUCTED IN ANY ORDER IF CONTIGUOUS TO ANOTHER COMPLETED PHASE.
- THE FOLLOWING SPECIFIC NOTES APPLY TO THE INDICATED PHASES:
- PHASE 2A: SITE CLEARING AND GRUBBING, INSTALLATION OF EROSION CONTROL DEVICES, LAKE EXCAVATION (C-1), DRAINAGE OUTFALL, ROUGH FILL, LITTORAL PLANTINGS, BLUE SAPPHIRE DR. FROM DOS2017-00103 DEVELOPMENT BOUNDARY, LOTS 273-282 INCLUDING ALL ROAD CONSTRUCTION, ASSOCIATED RETAINING WALL, DRAINAGE, UTILITIES, SIGNAGE, LIGHTING, PERIMETER BERM, CODE MINIMUM LANDSCAPING AND FENCE.
- PHASE 2A1: LOTS 283-291 & 405-417 INCLUDING ALL ASSOCIATED DRAINAGE, PERIMETER BERM, CODE MINIMUM LANDSCAPING AND RETAINING WALL.
- PHASE 2B: DRAINAGE, LAKE EXCAVATION (C-2, C-3), FINAL GRADING, LITTORAL PLANTINGS, LOTS 318, 328, 332 & 334 INCLUDING ALL ASSOCIATED RETAINING WALL, DRAINAGE, UTILITIES, SIGNAGE, ROAD CONSTRUCTION, LIGHTING, PERIMETER BERM, CODE MINIMUM LANDSCAPING AND FENCE, LIFT STATION NUMBER 7897.
- PHASE 2B1: LOTS 292-317, 319-327, 329-331, 333, 335-337, 361-404 INCLUDING ALL ASSOCIATED DRAINAGE, PERIMETER BERM, CODE MINIMUM LANDSCAPING AND RETAINING WALL.
- PHASE 2C: FINAL GRADING, LITTORAL PLANTINGS, LOTS 338-360 INCLUDING ALL ROAD CONSTRUCTION, ASSOCIATED RETAINING WALL, DRAINAGE, UTILITIES, SIGNAGE, LIGHTING, PERIMETER BERM, CODE MINIMUM LANDSCAPING AND FENCE.

MINOR CHANGE #3:

REMOVAL OF DEEP LAKE PLANS

OVERALL WILDBLUE PROPERTY NOTES

APPROVED ZONING RESOLUTION #Z-15-021.

TOTAL AREA:	2,960 AC.	INDIGENOUS CREDIT 135 AC. X 1.5:	202.5 AC.
OPEN SPACE REQUIRED (60%):	1,243 AC.	INDIGENOUS PROVIDED:	603 AC.
OPEN SPACE PROVIDED (64%):	1,329 AC.	EXISTING LAKE AREA:	887 AC.
INDIGENOUS PRESERVE:	536 AC.	WATER MANAGEMENT LAKE AREA:	130 AC.

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FLORIDA CERTIFICATES OF AUTHORIZATION  
ENGINEERING 7995 - SURVEYING LB-6940

PREPARED FOR

**LENNAR**

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PROJECT DESCRIPTION

**WildBlue**

LEE COUNTY, FLORIDA

ENGINEER OF RECORD  
TIMOTHY B. GAVIN, P.E., FOR THE FIRM  
FLORIDA P.E. NO. 70675 - TIMG@BARRACO.NET

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PLOT DATE = THU. 3-11-2021 - 1:42 PM

PLOT BY = SCOTT WHEELER JR

CROSS REFERENCED DRAWINGS

BASEPLAN = 23795A00.DWG  
SURVEY = 23372500.DWG

PLAN REVISIONS

05-21-2020	MINOR CHANGE #1	▲
07-20-2020	MINOR CHANGE #2	▲
03-11-2021	MINOR CHANGE #3	▲

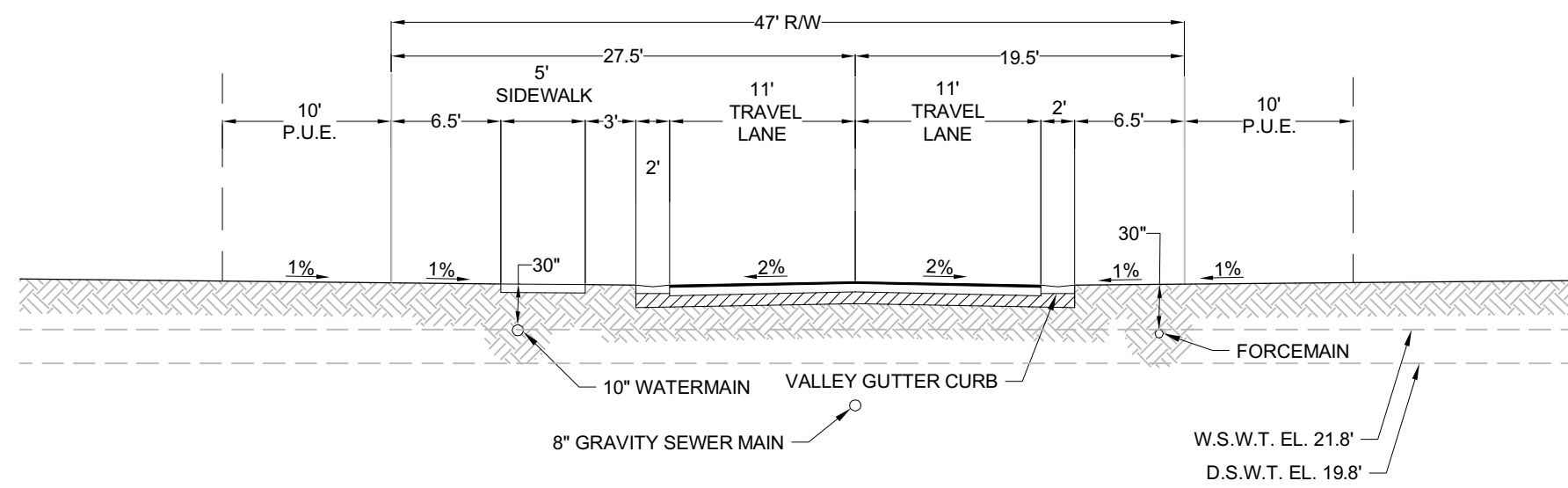
PLAN STATUS

MINOR CHANGE #3  
03-11-2021

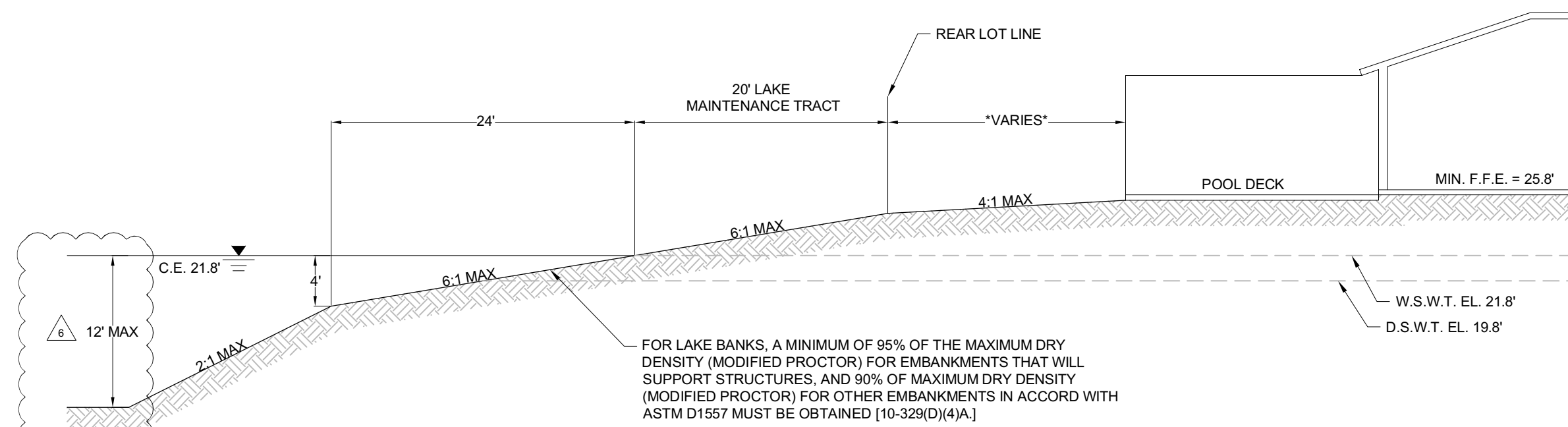
**MASTER SITE  
AND PHASING  
PLAN**

PROJECT / FILE NO.	SHEET NUMBER
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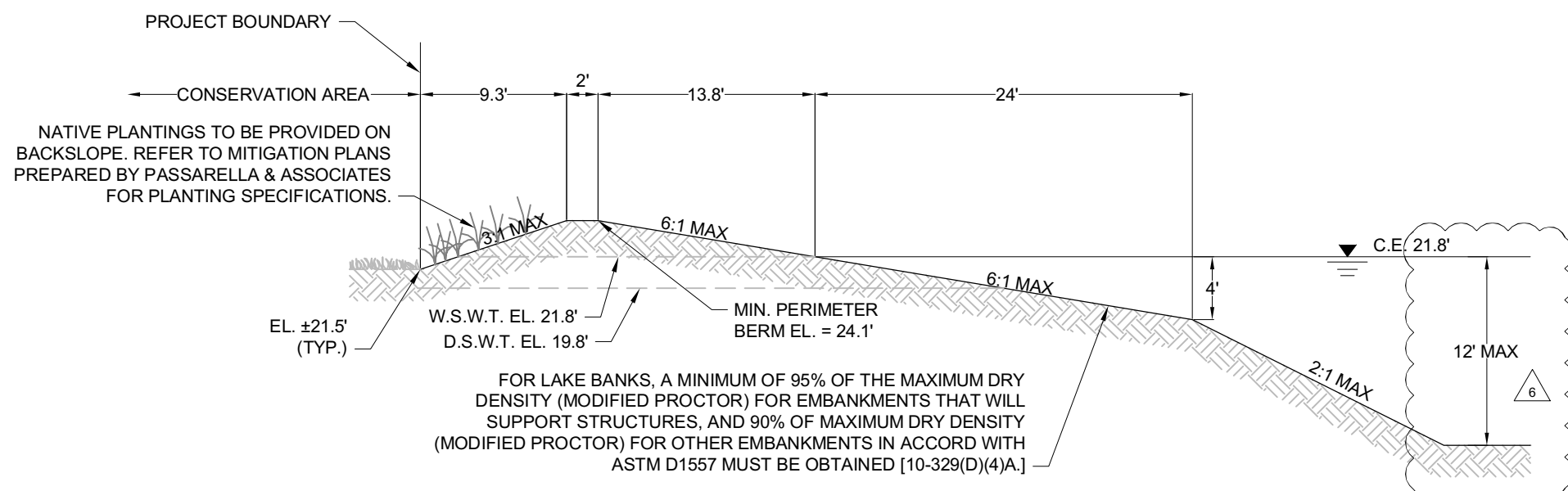




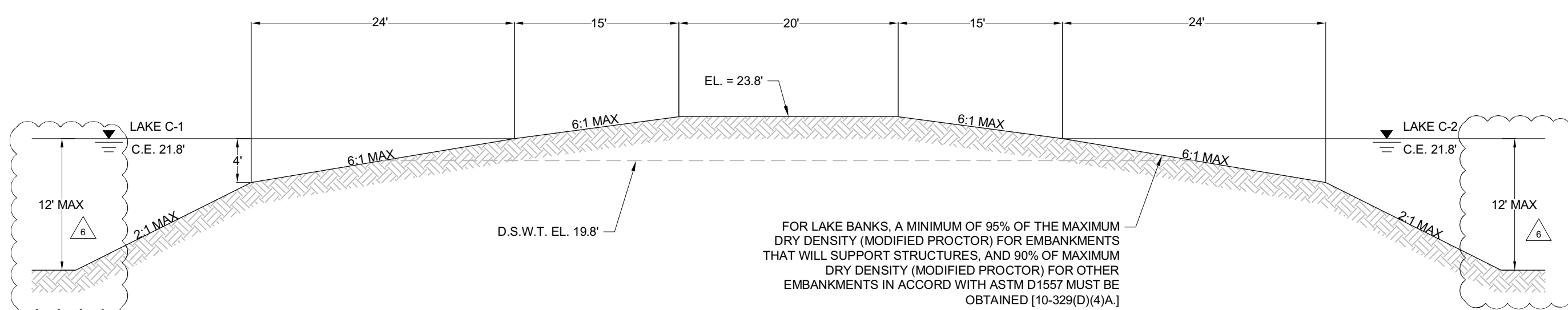
1 BASIN C - TYPICAL 47' R/W SECTION  
N.T.S.



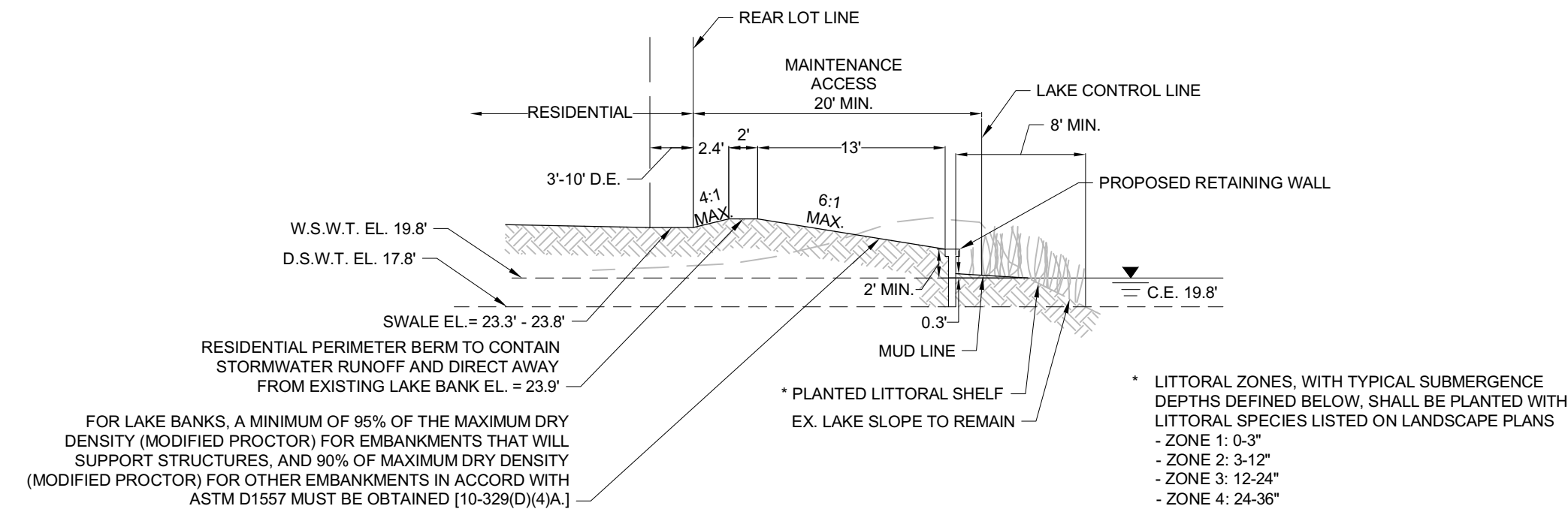
2 BASIN C: LAKE TO SINGLE - FAMILY  
N.T.S.



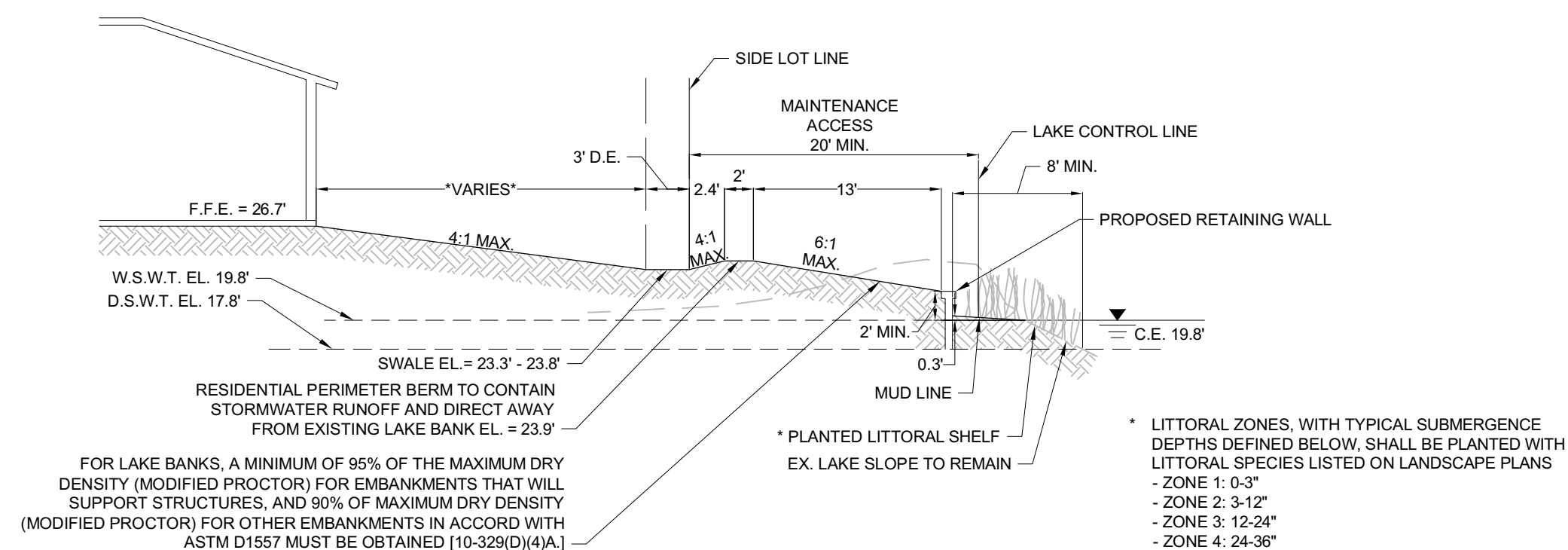
3 BASIN C: PRESERVE TO LAKE  
N.T.S.



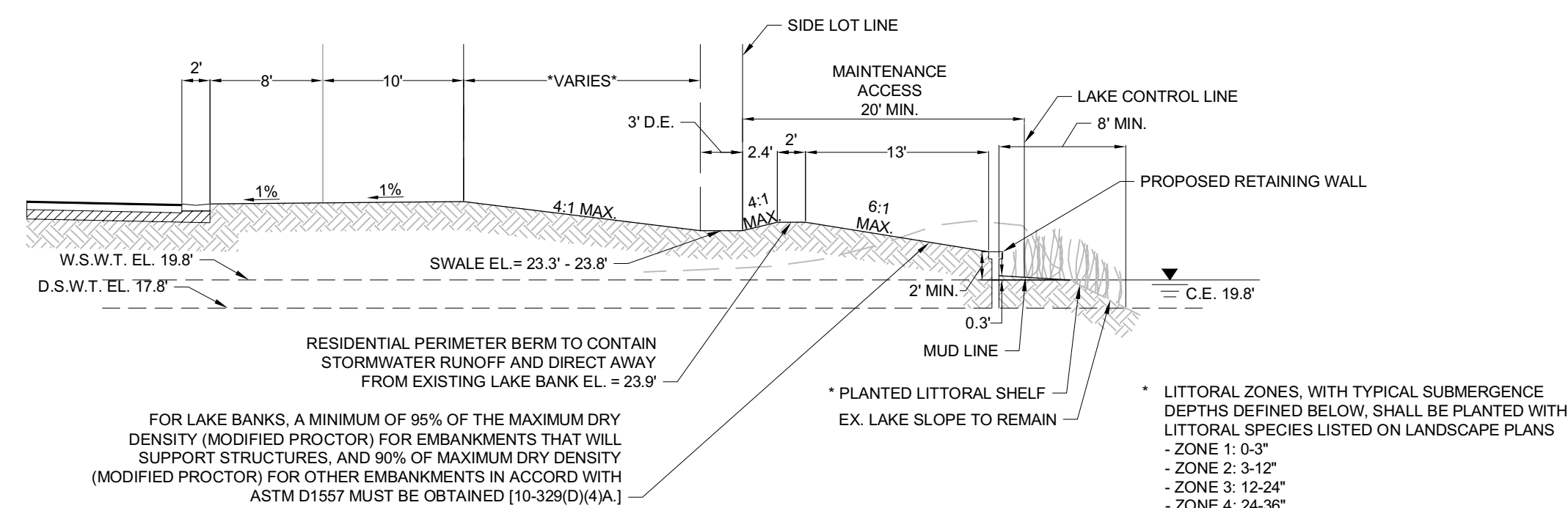
4 BASIN C: LAKE TO LAKE  
N.T.S.



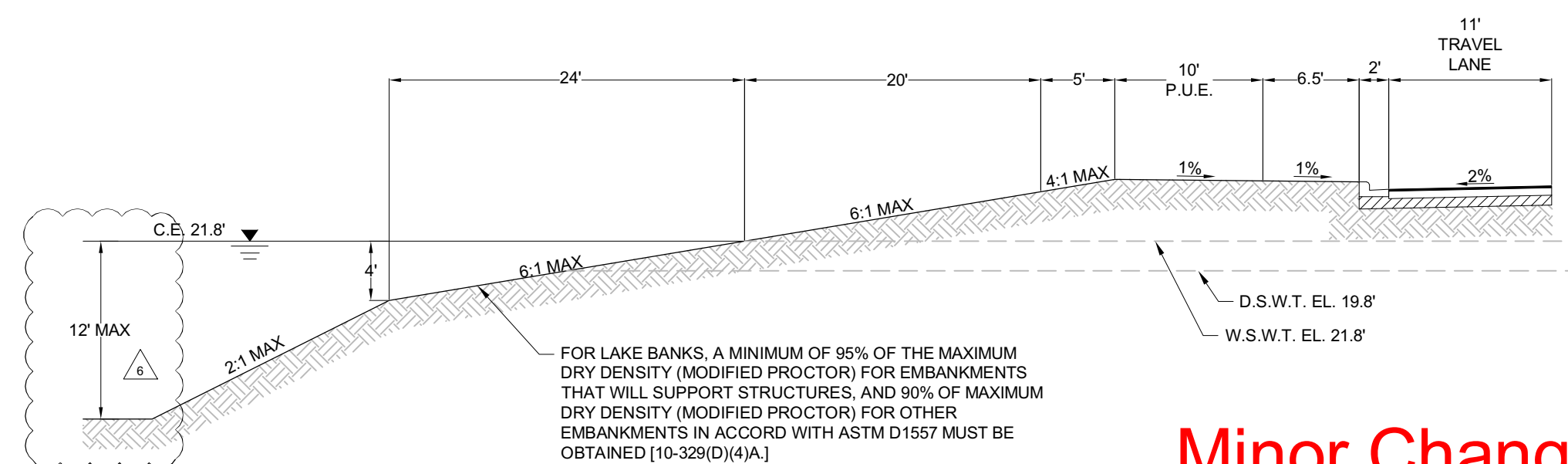
5 BASIN C: SINGLE- FAMILY TO EXISTING LAKE  
N.T.S.



6 BASIN C: SIDE LOT TO EXISTING LAKE  
N.T.S.



7 BASIN C: ROAD TO EXISTING LAKE  
N.T.S.



8 LAKE TO ROADWAY  
N.T.S.

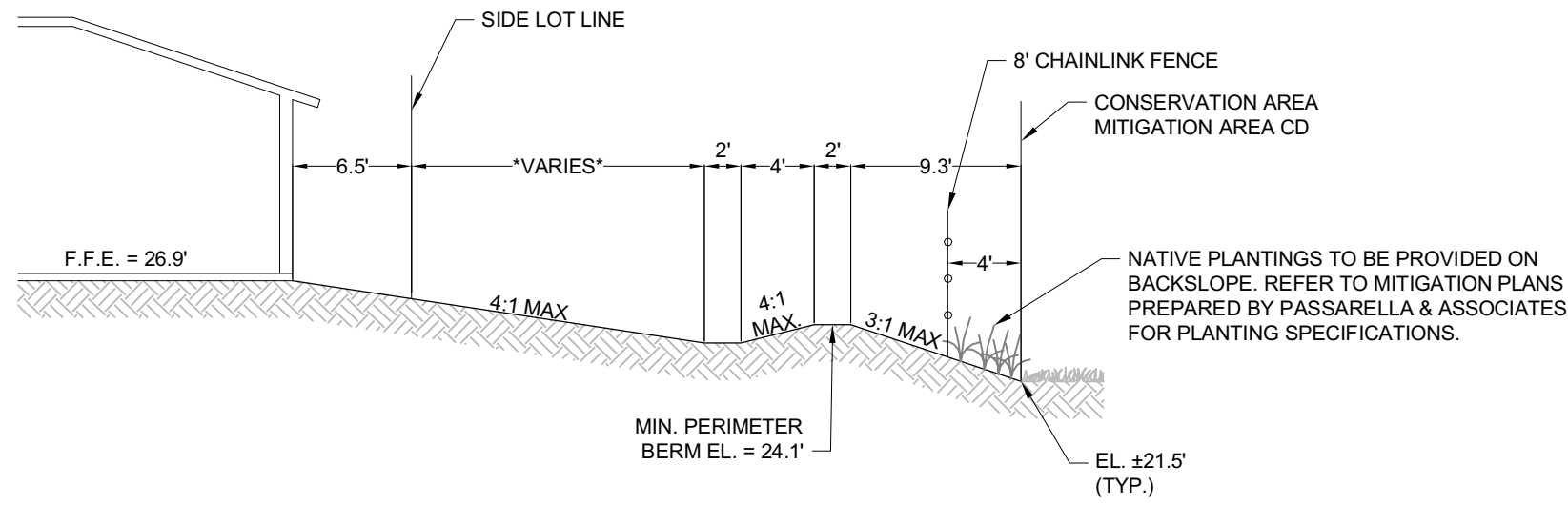
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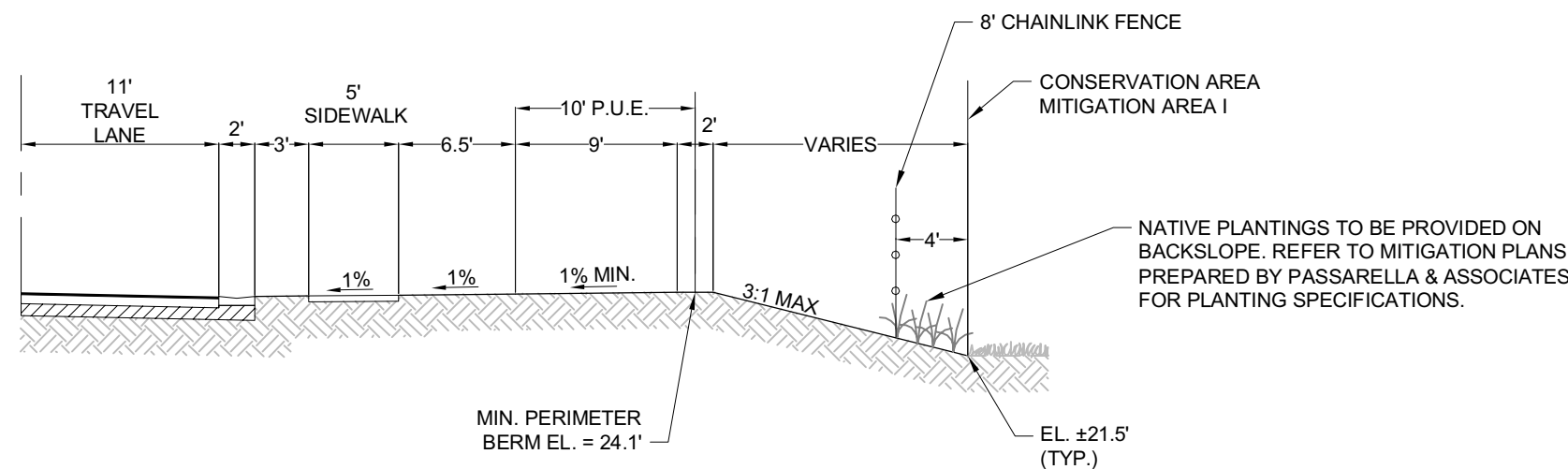
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 LEE COUNTY, FLORIDA  
 ENGINEER OF RECORD  
 TIMOTHY B. GAVIN, P.E., FOR THE FIRM  
 FLORIDA P.E. NO. 70675 - TIM@BARRACO.NET  
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 PLOT BY SCOTT WHEELER JR  
 CROSS REFERENCED DRAWINGS  
 PLAN REVISIONS  
 03-11-2021 MINOR CHANGE #3  
 PLAN STATUS  
 MINOR CHANGE #3  
 03-11-2021  
 TYPICAL SECTIONS  
 PROJECT / FILE NO. 23795  
 SHEET NUMBER 8.0





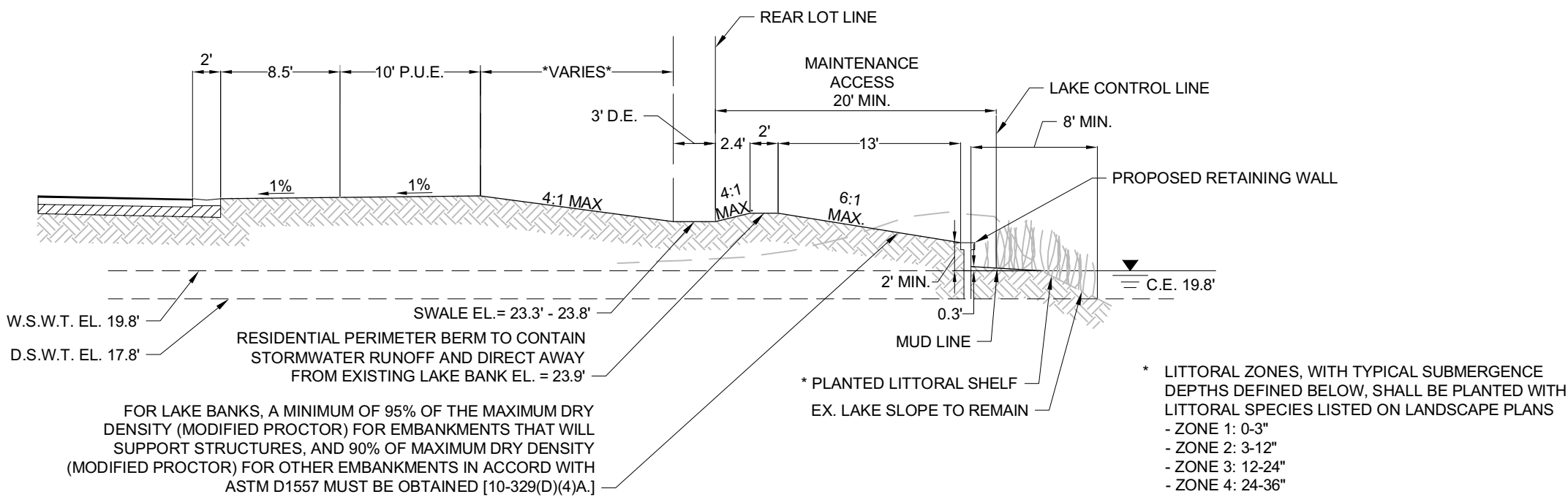
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N.T.S.



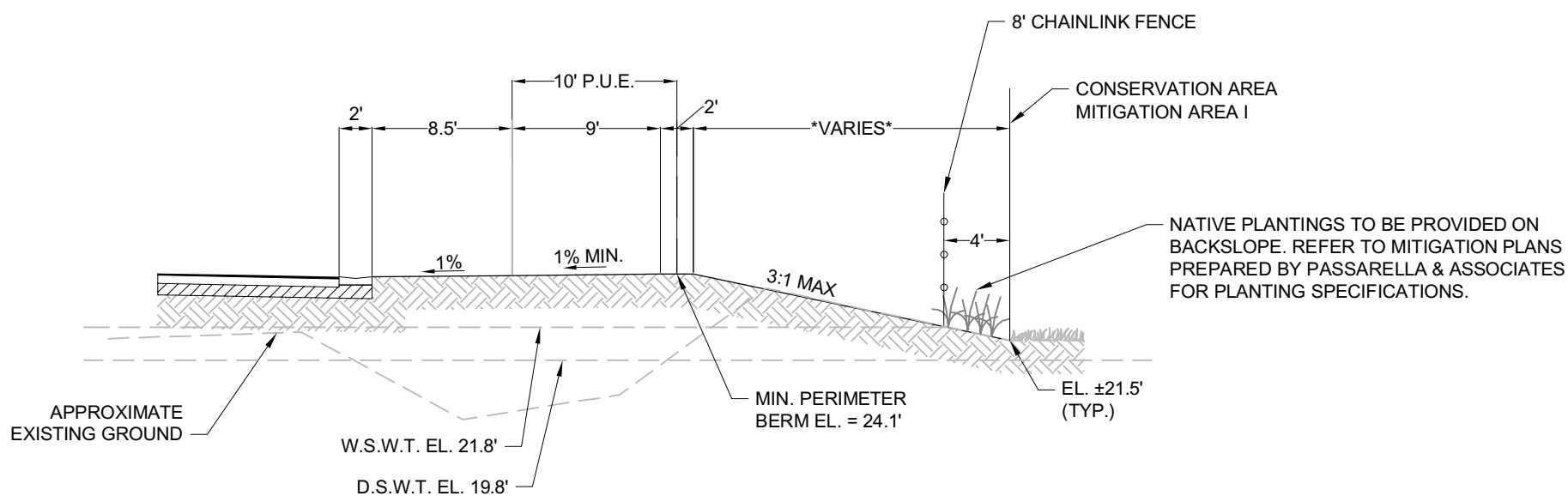
**BASIN C: ROAD TO PRESERVE**

N.T.S.



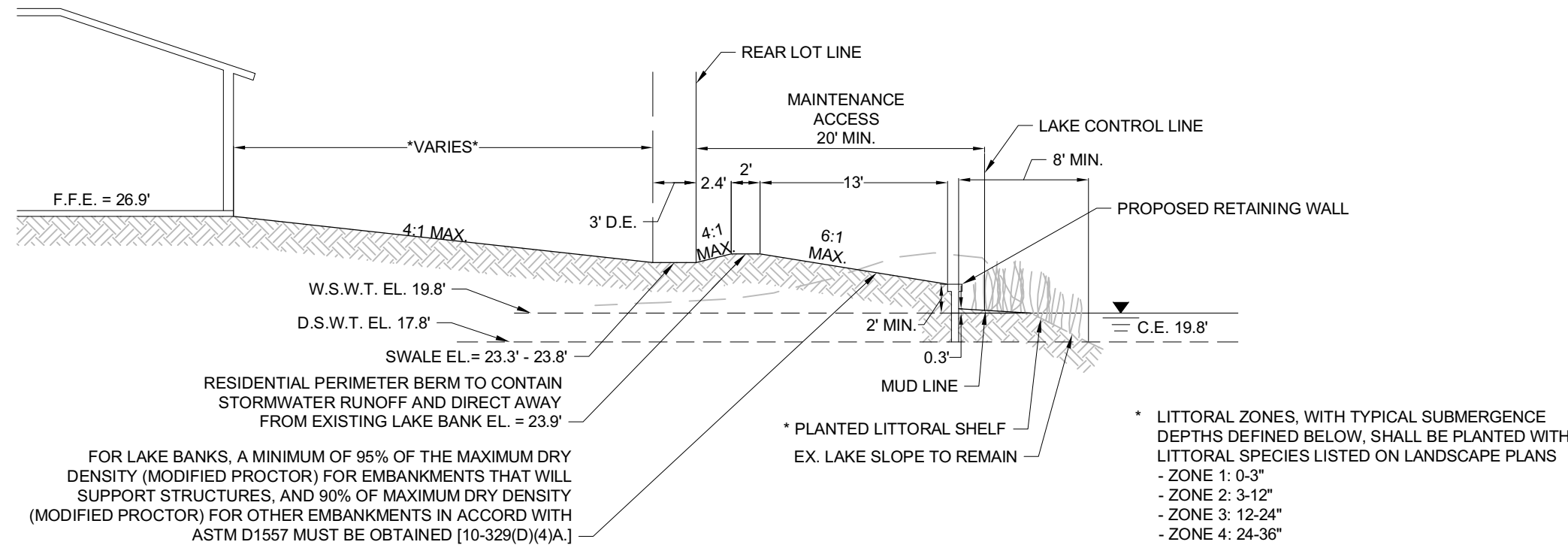
**BASIN C: ROAD TO EXISTING LAKE**

N.T.S.



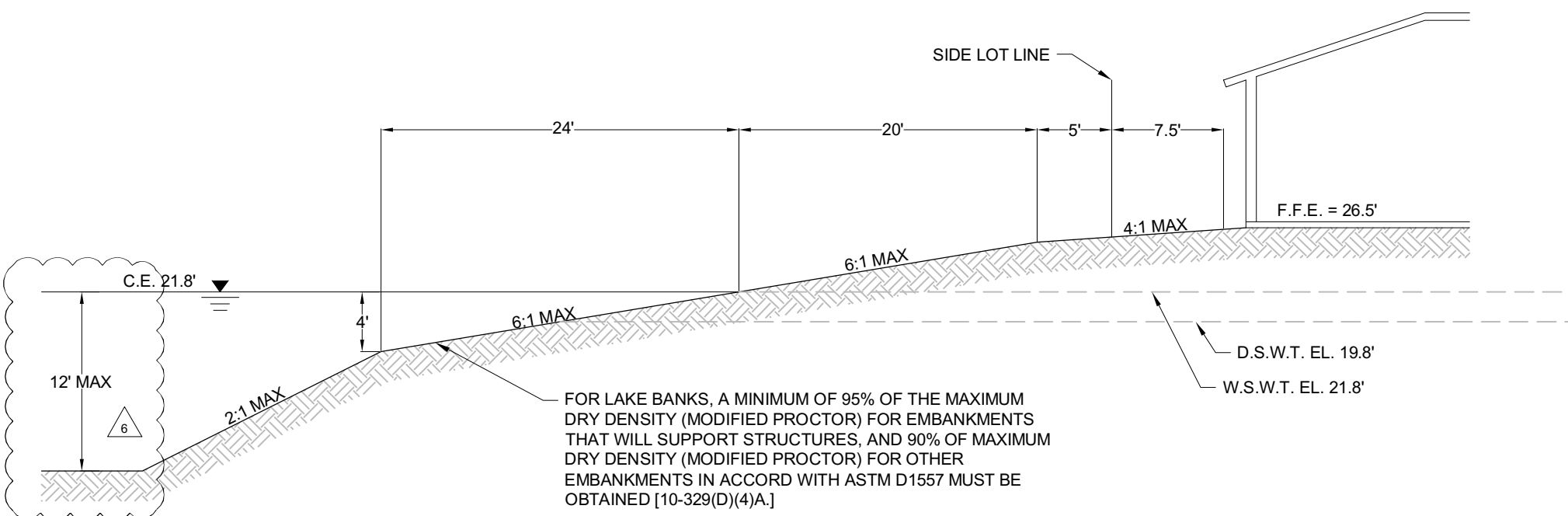
**BASIN C: ROAD TO PRESERVE**

N.T.S.



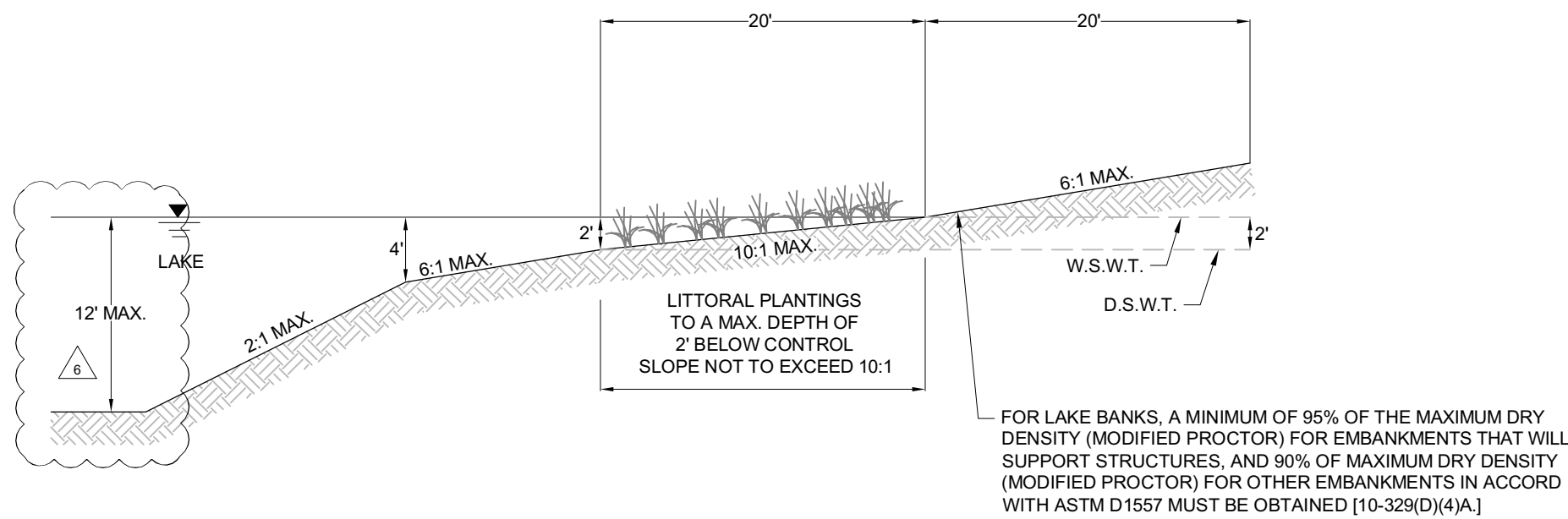
**BASIN C: SIDE LOT TO EXISTING LAKE**

N.T.S.



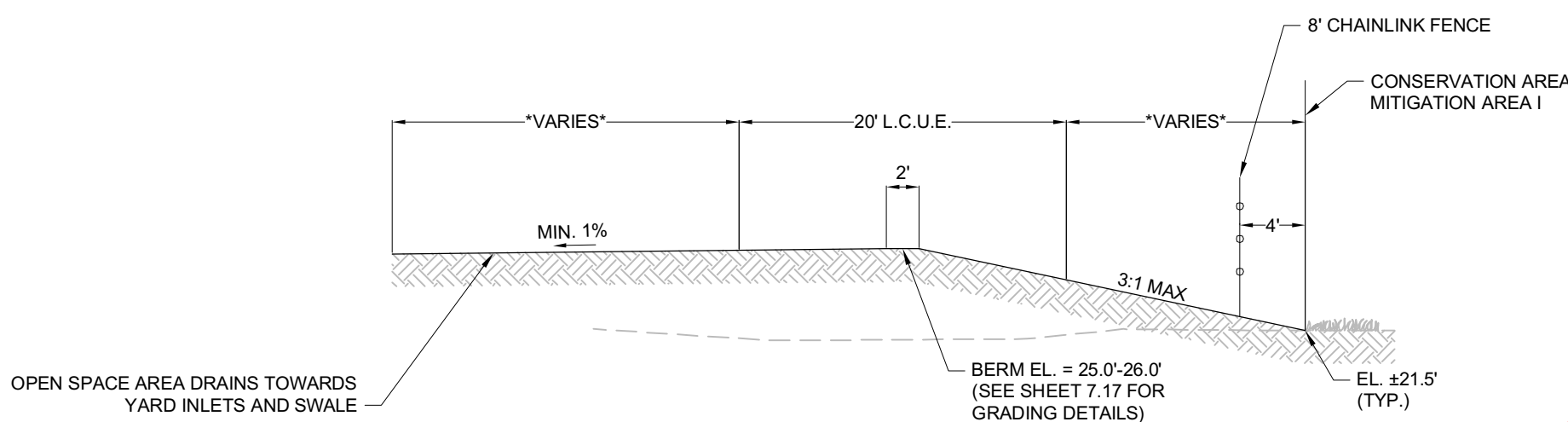
**BASIN C: LAKE TO SIDE LOT**

N.T.S.



**LAKE LITTORAL ZONE**

N.T.S.



**OPEN SPACE TO PRESERVE**

N.T.S.

**Minor Change #3**

**APPROVED**  
**03/11/2021**  
**Tom Sawtell, Plan Reviewer**  
**Lee County Development Services**  
**4/6/2021**

Barraco

and Associates, Inc.

CIVIL ENGINEERING - LAND SURVEYING

LAND PLANNING

www.barraco.net

2271 MCGREGOR BLVD., SUITE 100

POST OFFICE DRAWER 2800

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PHONE (239) 461-3170

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FLORIDA CERTIFICATES OF AUTHORIZATION

ENGINEERING 7995 - SURVEYING LB-6940

PREPARED FOR

LENNAR

LENNAR HOMES

10471 BEN C PRATT / 6 MILE

CYPRESS PARKWAY

FORT MYERS, FLORIDA 33966

PHONE (239) 278-1177

FAX (239) 931-4749

PROJECT DESCRIPTION

WildBlue

LEE COUNTY, FLORIDA

ENGINEER OF RECORD

TIMOTHY B. GAVIN, P.E., FOR THE FIRM

FLORIDA P.E. NO. 70675 - TIMG@BARRACO.NET

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FILE NAME | 23795A18.DWG

LOCATION | J:\23795\DWG\DO\

PLOT DATE | THU. 3-11-2021 - 1:32 PM

PLOT BY | SCOTT WHEELER JR

CROSS REFERENCED DRAWINGS

PLAN REVISIONS

03-11-2021	MINOR CHANGE #3	▲

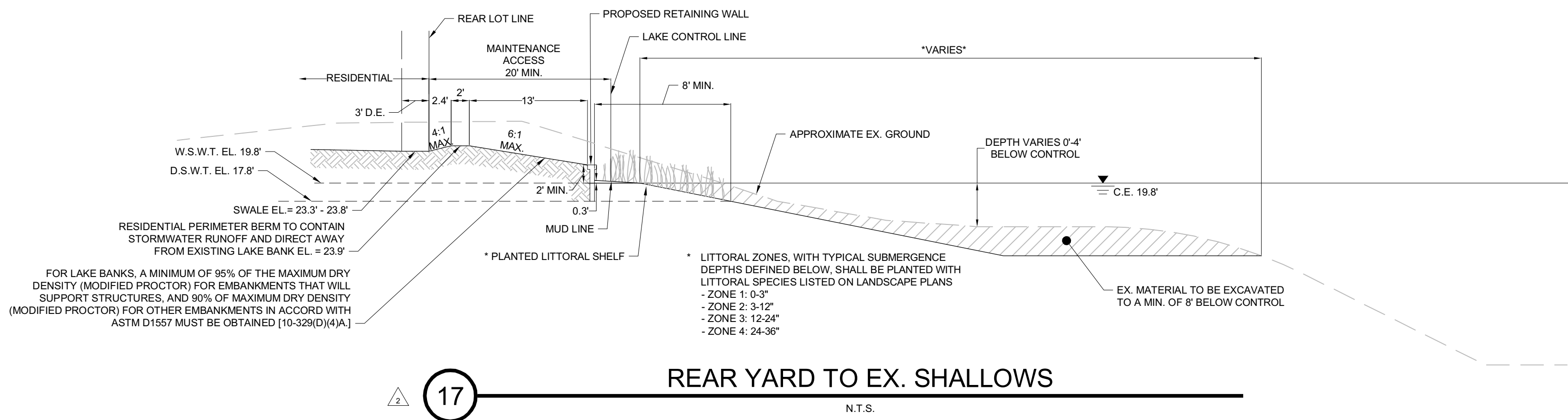
PLAN STATUS

MINOR CHANGE #3

03-11-2021

TYPICAL SECTIONS

PROJECT / FILE NO.	SHEET NUMBER
23795	8.1



Minor Change #3

APPROVED  
DOS2019-00120  
Tom Sawtell, Plan Reviewer  
Lee County Development Services  
4/6/2021

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PLOT DATE | THU, 3-11-2021 - 1:32 PM

PLOT BY | SCOTT WHEELER JR

CROSS REFERENCED DRAWINGS

PLAN REVISIONS

10-14-19	DO COMMENTS DATED 10-14-19

PLAN STATUS

MINOR CHANGE #3  
03-11-2021

TYPICAL SECTIONS

PROJECT / FILE NO.	SHEET NUMBER
23795	8.2